Your Ref

In reply please quote SUB0311/18 LUC0489/18

If calling, please ask for & Kelly Cattermole



26 June 2018

Postal Address Private Bag 544, Ngaruawahia 3742 New Zealand

0800 492 452 www.waikatodistrict.govt.nz

Renee Fraser-Smith
CivilPlan Consultants Limited
PO Box 97796
Manukau City
Auckland 2241

Email: renee@civilplan.co.nz

Digitally Delivered

Dear Madam

APPLICATION BY HUGHES DEVELOPMENTS LIMITED FOR SUBDIVISION & LANDUSE CONSENT AT 99 ESCOTTS ROAD TUAKAU

The resource consent applications that you made under the Resource Management Act 1991 (RMA) has been determined and have been granted. Please find enclosed a copy of the Decision and the Consent.

A Next Step

When you are ready to start your subdivision you can meet with Council to discuss the consent conditions and what is required to complete the subdivision. For a limited time, those who arrange a pre-start meeting will get one-hour of staff time for free. This will include one hour from the Technical Planner and up to two technical experts. The contact person to arrange this meeting is the Technical Planner or you can email subdivision@waidc.govt.nz.

For further information about the next steps in the process please visit http://www.qualityplanning.org.nz/index.php/planning-tools/land/subdivision or search for "subdivisions" on www.waikatodistrict.co.nz. There is also a useful diagram on the last page of this letter.

B Compliance with Conditions

All conditions must be complied with prior to RMA s224 approval unless there is a specific timeframe stated in the conditions. To satisfy your conditions you may require additional approvals from Council's Asset Managers to do work that affects infrastructure.

C Changes to Conditions

RMA s127 enables an application to be made at any time to Council to change or cancel any condition of this consent. Any such application should be accompanied by a lodgement fee as per the <u>Fees and Charges Schedule</u>.

D Review of Decision on non-notified application

RMA s357 provides a right of objection in respect of this decision. Any such objection shall be made by notice in writing to the Council, set out the reasons for the objection, and be accompanied by a lodgement fee as per Council's <u>Fees and Charges Schedule</u>. An objection shall be made within 15 working days of the decision being notified, or within any longer time allowed by of the Council.

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E Lapsing of Consents

RMA s125 relates to the lapsing of consents. A resource consent lapses five years after the date of commencement of the consent, or after the expiry period in the consent, unless

- (a) The consent is given effect to, before the end of that period; or
- (b) An application which meets the criteria specified in \$125 is made to Council and Council decides to grant an extension.

A subdivision consent is given effect to, for the purposes of s125, when a Survey Plan has been submitted to Council under s223. The consent thereafter lapses if the Survey Plan is not deposited in accordance with s224. Section 224 states that no survey plan can be deposited unless (among other things) less than 3 years has elapsed since Council approved the plan under s223.

F Right of Appeal

RMA s120 and 121 and Regulations 16 - 19 of the Resource Management (Forms, Fees, and Procedure) Regulations 2003/153 relate to appeals. Please note:

(i) If you are not excluded from appealing under \$120 of the RMA, you may appeal against this decision by lodging a Notice of Appeal, in the prescribed form, with the Registrar of the Environment Court and with the Council within 15 working days of the receipt this decision by you or the person who filed the application on your behalf. The Environment Court address is:

The Registrar

Specialist Court and Tribunal Centre

Environment Court

Level 2

P O Box 7147

41 Federal Street (Cnr Wyndham and Federal Streets

Wellesley Street

AUCKLAND CITY Telephone:09 916 9091

AUCKLAND

Fax: 09 916 9090

- (i) A filing fee of \$511.11 GST inclusive must accompany every document by which appeal proceedings are commenced.
- (ii) RMA s121 includes important information about other persons the appeal must be served on and the time when service must take place.

It is recommended that you seek independent advice if you are in any doubt as to the processes to be followed.

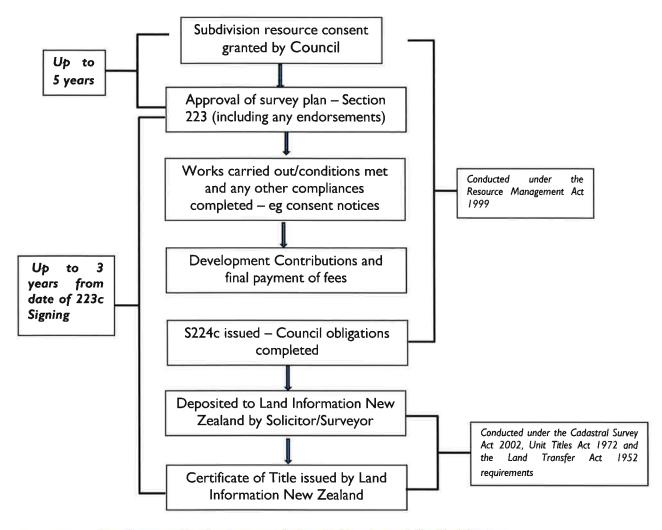
Yours faithfully

Jessica Thomas

CONSENTS ADMINISTRATION

Cc: Hughes Developments Limited

C/- CivilPlan Consultants Ltd



Adapted from: http://www.qualityplanning.org.nz/index.php/planning-tools/land/subdivision

Resource Consent

(Resource Management Act 1991)



www.waikatodistrict.govt.nz

DECISION ON APPLICATION: SUB0311/18

Pursuant to Sections 34A(I), Section 104, 104B, 106, 220 and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants subdivision for a Discretionary activity:

Activity:

To create 93 vacant residential lots in two stages, including three road lots (to vest), three local purpose (accessway) reserves (to vest), three local purpose esplanade reserves (to vest) and two local purpose (drainage) reserve (to vest)

on land zoned Rural-Residential.

Applicant:

Hughes Developments Limited

Location Address:

99 Escotts Road Tuakau

Legal Description:

Lot I DP 169701 comprised in Computer Freehold Register

SA102A/293

This consent is subject to the conditions detailed in the attached Schedule 1.

The Reasons for this decision are detailed in the attached Schedule 2.

CONSENTS TEAM LEADER

Dated: 26 June 2018



Schedule I

Conditions of Consent

Resource Consent No: SUB0311/18

General Conditions

Land Transfer Plan

The subdivision shall proceed in general accordance with the plans and subsequent further information submitted in relation to the application.

The plans included in the CivilPlan plans suite submitted on the 25th of March 2018 are particularly referenced as:

- 2011-01-099 Rev C1 General Layout Plan
- 2011-01-150 Rev C1 Topographical Plan
- 2011-01-160 Rev C3 Clearing Plan
- 2011-01-200 Rev C1 Finished Contours Plan
- 2011-01-220 Rev C1 Isopachs Plan
- 2011-01-221 Rev C1 Geotechnical Drainage Details
- 2011-01-230 Rev C1 Sediment and Erosion Control Layout Plan
- 2011-01-231 Rev C1 Sediment and Erosion Control Pond 2 Detail
- 2011-01-235 Rev C1 Sediment and Erosion Control Standard Details Sheet 1
- 2011-01-236 Rev C1 Sediment and Erosion Control Standard Details Sheet 2
- 2011-01-237 Rev C1 Sediment and Erosion Control Standard Details Sheet 3
- 2011-01-240 Rev C1 Earthworks Cross Sections Sheet 1
- 2011-01-241 Rev C1 Earthworks Cross Sections Sheet 2
- 2011-01-270 Rev C3 Retaining Wall Plan and Elevation Sheet 1
- 2011-01-271 Rev C3 Retaining Wall Plan and Elevation Sheet 2
- 2011-01-300 Rev C1 Road Layout Plan
- 2011-01-305 Rev C1 Vehicle Tracking Plan Large Rigid Truck
- 2011-01-315 Rev C1 Combined Services Detail Plan Sheet 1
- 2011-01-316 Rev C1 Combined Services Detail Plan Sheet 2
- 2011-01-317 Rev C1 Combined Services Detail Plan Sheet 3
- 2011-01-318 Rev C1 Combined Services Detail Plan Sheet 4
- 2011-01-319 Rev C1 Combined Services Detail Plan Sheet 5
- 2011-01-320 Rev C1 Road Longitudinal Sections Sheet 1
- 2011-01-321 Rev C1 Road Longitudinal Sections Sheet 2
- 2011-01-322 Rev C1 Road Longitudinal Sections Sheet 3
- 2011-01-323 Rev C1 Road Longitudinal Sections Sheet 4
- 2011-01-330 Rev C1 Road Typical Cross Sections Sheet 1
- 2011-01-331 Rev C1 Road Typical Cross Sections Sheet 2
- 2011-01-332 Rev C1 Road Typical Cross Sections Sheet 3
- 2011-01-333 Rev C1 Road Typical Cross Sections Sheet 4
- 2011-01-334 Rev C1 Road Typical Cross Sections Sheet 5
- 2011-01-335 Rev C2 Raised Table Details
- 2011-01-350 Rev C1 Access Lot Details
- 2011-01-351 Rev C1 Accessway Detail Through Lot 202
- 2011-01-352 Rev C2 Accessway Detail Through Lot 301
- 2011-01-353 Rev C1 Accessway Detail Through Lot 201

- 2011-01-360 Rev C1 Road Intersection Details Sheet 1
- 2011-01-361 Rev C1 Road Intersection Details Sheet 2
- 2011-01-362 Rev C1 Road Intersection Details Sheet 3
- 2011-01-380 Rev C3 Road Marking Plan Overall Layout Plan
- 2011-01-381 Rev C3 Road Marking Plan Detail Sheet 1
- 2011-01-382 Rev C3 Road Marking Plan Detail Sheet 2
- 2011-01-390 Rev C1 Roading Standard Details Sheet 1
- 2011-01-391 Rev C1 Roading Standard Details Sheet 2
- 2011-01-400 Rev C3 Drainage Reticulation Plan Overall Layout
- 2011-01-401 Rev C3 Drainage Reticulation Plan Detail Sheet 1
- 2011-01-402 Rev C2 Drainage Reticulation Plan Detail Sheet 2
- 2011-01-420 Rev C1 Overland Flowpath Plan Plan and Sections
- 2011-01-430 Rev C3 Stormwater Longitudinal Sections Sheet 1
- 2011-01-431 Rev C1 Stormwater Longitudinal Sections Sheet 2
- 2011-01-432 Rev C1 Stormwater Longitudinal Sections Sheet 3
- 2011-01-433 Rev C2 Stormwater Longitudinal Sections Sheet 4
- 2011-01-434 Rev C1 Stormwater Longitudinal Sections Sheet 5
- 2011-01-435 Rev C1 Stormwater Longitudinal Sections Sheet 6
- 2011-01-436 Rev C1 Stormwater Longitudinal Sections Sheet 7
- 2011-01-450 Rev C1 Wastewater Longitudinal Sections Sheet 1
- 2011-01-451 Rev C2 Wastewater Longitudinal Sections Sheet 2
- 2011-01-452 Rev C1 Wastewater Longitudinal Sections Sheet 3
- 2011-01-453 Rev C1 Wastewater Longitudinal Sections Sheet 4
- 2011-01-454 Rev C1 Wastewater Longitudinal Sections Sheet 5
- 2011-01-455 Rev C1 Wastewater Longitudinal Sections Sheet 6
 2011-01-456 Rev C1 Wastewater Longitudinal Sections Sheet 7
- 2011-01-457 Rev C1 Wastewater Stream Crossover Longitudinal Section
- 2011-01-461 Rev C3 Wetland 2 Details
- 2011-01-462 Rev C3 Wetland 3 Details
- 2011-01-463 Rev C2 Wetland Outlet Manhole Details
- 2011-01-464 Rev C2 Outlet Details
- 2011-01-465 Rev C3 Road Stormwater Mitigation Layout Plan
- 2011-01-466 Rev C2 Road Stormwater Mitigation Attenuation Tank Details
- 2011-01-470 Rev C1 Typical Rain Garden Details Sheet 1
- 2011-01-480 Rev C1 Stormwater Manhole Details
- 2011-01490 Rev C1 Stormwater Standard Details Sheet 1
- 2011-01495 Rev C1 Wastewater Standard Details Sheet 1
- 2011-01-500 Rev C1 Watermain Reticulation Plan
- 2011-01-560 Rev C1 Watermain Reticulation Intersection Details Sheet 1
- 2011-01-561 Rev C1 Watermain Reticulation Intersection Details Sheet 2
- 2011-01-562 Rev C1 Watermain Reticulation Intersection Details Sheet 3
- 2011-01-590 Rev C1 Watermain Standard Details Sheet 1
- 2011-01-600 Rev C1 Ducting Road Crossing Plan

The Land Transfer Plan to give effect to this resource consent shall be generally consistent with the approved plans prepared by CivilPlan Consultants Limited (except as amended by the conditions below) as follows:

- 2011-01-100 Rev C1 Proposed Subdivision Plan Stage 1 Overall Layout
- 2011-01-101 Rev C1 Proposed Subdivision Plan Stage 1 Detail Sheet
- 2011-01-102 Rev C1 Proposed Subdivision Plan Stage 2 Overall Layout
- 2011-01-103 Rev C1 Proposed Subdivision Plan Stage 2 Detail Sheet 1
- 2011-01-104 Rev C1 Proposed Subdivision Plan Stage 2 Detail Sheet 2

Copies of the approved plans are attached.

Payment of Fees and Costs

- 2 Pursuant to Section 36 of the Resource Management Act 1991 the consent holder shall pay the actual and reasonable costs incurred by the Waikato District Council when monitoring the conditions of this consent.
- 3 Council's processing fees are to be paid in accordance with the Council's schedule of fees and charges prior to the signing of the s224 certificate.

Compliance with Building Controls

4 Prior to s223 and s224 approval all buildings shall comply with the permitted activity rules relating to building coverage, setbacks, and daylight angles relative to the new boundaries.

Accidental Discovery Protocol

- 5 In the event of any archaeological site or waahi tapu being discovered or disturbed while undertaking works to give effect to the conditions of this consent, the works in the area of the discovery shall cease immediately, and Iwi and the Waikato District Council shall be notified within 48 hours. Works may recommence with the written approval of the Waikato District Council. Such approval shall be given after the Waikato District Council has considered:
 - Tangata Whenua interests and values; (a)
 - (b) the consent holder's interests; and
 - any archaeological or scientific evidence. (c)

Consent Holder's Representative

6 Prior to commencing any engineering design or construction works, the consent holder shall appoint an appropriately qualified and competent Developer's Representative/s acceptable to the Waikato District Council, in accordance with the requirements of the Hamilton City Infrastructure Technical Specifications (ITS).

Notification of beginning works

- 7 The consent holder shall notify Waikato District Council's Team Leader Monitoring, in writing, of their intention to begin works for each stage, a minimum of 14 days prior to commencing. Notification shall include the following details:
 - Name's and telephone number/s of the Developers Representative/s appointed as (a) per a condition of this consent.
 - Site Address to which the consent relates (b)
 - (c) Activities to which the consent relates
 - Expected duration of the works (d)

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Overland Flow Paths

After completion of earthworks for each stage, the consent holder shall provide a plan/plans identifying all the overland flow paths located within private property if any, to the Waikato District Council Development Engineer Team Leader for approval by Waikato District Council. The plan to be submitted shall demonstrate that every allotment has a suitable building platform exclusive of the overland flow paths shown on this plan.

Easements

- Passements in gross for the right to drain stormwater (overland flowpaths) in favour of the Waikato District Council over all identified overland flow paths located in private properties within the development that have been approved by the Waikato District Council shall be granted and reserved. The easements in gross shall be shown on the survey plan and included in the memorandum of easements. The easements shall be in accordance with Waikato District Council's Easement Policy. Any easements in gross required by the conditions of this consent shall be prepared by Council's Solicitor and shall include Council's and the Consent Holder's agreed conditions for easements in gross.
- Easements in gross for all proposed and future public wastewater and stormwater reticulation including rising main which are located in private properties within this development, including balance lots, shall be granted and reserved in favour of Waikato District Council. The easements in gross shall be shown on the survey plan and included in the memorandum of easements. The easements shall be in accordance with Waikato District Council's Easement Policy. Any easements in gross required by the conditions of this consent shall be prepared by Council's Solicitor and shall include Council's and the Consent Holder's agreed conditions for easements in gross.

Construction Noise

All construction work, including maintenance and demolition work, on any site will need to be designed and conducted to ensure that noise from the site is in accordance with the provisions of NZS6803:1999 Acoustics — Construction Noise. Sound levels shall be measured and assessed in accordance with the provisions of NZS 6803: 1999 Acoustics — Construction Noise, NZS6801:2008 Acoustics - Measurement of environmental sound and 6802:2008 Environmental.

Prior to the application for s224 approval the Consent Holder shall comply with the following Conditions:

Construction Management Plan

- Prior to undertaking the consented activities, the consent holder shall prepare a Construction Management Plan to be implemented once approved, to the satisfaction of Waikato District Council. The plan shall be forwarded to Council for approval prior to any site works commencing and shall include but not be limited to the following:
 - (a) Methodology for all proposed Earthworks
 - (b) Methodology for installation, maintenance and removal of erosion and sediment controls in accordance with the Waikato District Plan, Hamilton City ITS and the Waikato Regional Council's Erosion and Sediment Control Consents/Guidelines.
 - (c) Methodology for management of dust to ensure no discharge beyond the site boundaries.
 - (d) Proposed methodology for managing stormwater within each stage.

Dust

The consent holder shall ensure that no dust emissions from the activities authorised by this consent cause an objectionable or offensive effect beyond the boundaries of the site.

Note:

For the purposes of this condition, the Waikato District Council will consider an effect that is objectionable or offensive to have occurred if any appropriately experienced officer of the Waikato District Council determines so after having regard to:

- The frequency, intensity, duration, location and effect of dust emission(s);
 and/or
- Receipt of complaints from neighbours or the public; and/or

Street Lighting & Infrastructure

- Street lighting shall be provided in accordance with the Hamilton City Infrastructure Technical Specifications. The consent holder shall provide a plan for the proposed lighting to be approved by Waikato District Council and the Waikato District Council approved street lighting plan shall be implemented. The design shall be prepared by a suitably qualified and competent person, and shall:
 - (a) Include a design certificate stating that the design complies with the requirements of the Hamilton City Infrastructure Technical Specifications.
 - (b) Include all reserve pathway lighting in accordance with the Hamilton City Infrastructure Technical Specifications.

The Street Lighting Plan provided to Waikato District Council for Council approval shall take into account landscaping and required under other conditions of this consent.

- The Consent Holder shall where applicable, erect street name signs. The signs shall be as per diagram D3.7.12 of the ITS with white lettering on a blue background, mounted as per diagram D3.7.4 of the ITS unless an alternative standard is erected to the satisfaction of Council. The condition can be satisfied by undertaking a bond agreement between the Waikato District Council and the Consent Holder.
- Water reticulation shall be tested to confirm compliance with the New Zealand Fire Service Fighting Water Supplies Code of Practice SNZPAS 4509:2008.
- Infrastructure works including roading, footpaths, streetlights, sewer, water and stormwater constructed during the subdivision development shall be subject to a Defects Liability period of up to 12 months at the discretion of Council. The defects liability period shall commence from the date of issue of the section 224(c) Certificate.

Advice Note:

To meet the requirements of the above condition, prior to the release of the 224c certificate the Consent Holder can provide a written guarantee to the General Manager Service Delivery that the terms and conditions of the Defects liability are acceptable and that a final inspection is carried out by Waikato District Councils Senior Land Development Engineer within the last month of the defects liability period.

If during the Defects Liability Period, Council considers that any remedial works need to be carried out in respect of the subdivision works, the Consent Holder will be required to undertake these at their own cost, to the satisfaction of Council. Engineering plans for remedial works shall be submitted to and accepted by Council prior to construction.

- After completion of the earthworks, the Consent Holder shall provide a "Statement of Professional Opinion as to Suitability of Land for Building Development" completed and signed by a **Geo-professional*** (*as defined in NZS4404:2010, Section 2.2.4), and, if appropriate, assisted by a Chartered Professional Engineer, for each individual residential site to certify that the site is suitable for:
 - a) Erection of residential buildings and;
 - b) Provide details of areas unsuitable for development i.e. unstable, floodable, in path of overland flows etc.
 - c) Provide any specific designs/requirements necessary for the construction of residential buildings.

In accordance with section 221 of the Resource Management Act 1991 the following condition/s shall apply on an ongoing basis by the subdividing owner and subsequent owners and shall be registered against the relevant certificates of title

- Specific designs/requirements necessary for the construction of residential buildings as identified in the Statement of Professional Opinion as to Suitability of Land for Building Development.
- The current and future owners of Lots I to 93 (inclusive) shall be informed that for the purpose of public amenity and increasing informal visual surveillance, any fence located on or within 1.0 metre of the common boundary with a road boundary, public open space and reserves (including the walkway along the Kairoa Stream) shall be limited to a maximum height of 1.20 metres.

Consent notices shall be prepared by Waikato District Council's Solicitor at the Consent Holders cost. Please request your consent notice be prepared prior to requesting 224(c) approval.

STAGE | - Residential Lot | to 42 and 55 to 66 and Lots | 100 and | 101 - Road to Vest in WDC and Lot 300 - Local Purpose Drainage Reserve to Vest in WDC.

The existing dwelling and garage within Lots 29 and 30 shall be removed or relocated to a complying location.

Prior to application for approval of the survey plan (s223), the Consent Holder shall comply with the following conditions:

Engineering Design/Plans

- The consent holder shall commission engineering designs/plans for the works described below:
 - (a) Install reticulated wastewater system in general accordance with the plans submitted with the application. Regional Council Consent shall be provided for the proposed Kairoa Stream crossing if required.
 - (b) Install reticulated stormwater management in general accordance with the plans submitted with the application. Regional Council Consent shall be provided for proposed discharge to the Kairoa Stream.
 - (c) Install reticulated water in subdivision and connected to the Council watermain on George St in general accordance with the plans submitted with the application.
 - (d) Undertake earthworks in general accordance with the plans and report provided with the application. Where there is a discrepancy between the plans / reports provided by Lander Geotechnical Consultants Limited dated 28 March 2018 shall prevail. Regional Council Consent shall be provided for the proposed earthworks.
 - (e) Construct the road to vest Lot 100 and Lot 101, inclusive of, but not limited to, footpaths, parking facilities, lighting and street planting in general accordance with plans provided with application.
 - (f) Install footpath from the subdivision, along the western side of Escotts Road to connect with the existing footpath on the northern end of Escotts Road.
 - (g) Install concrete vehicle entrances to Lots 4, 12, 19, 24, 29, 32, 33, 34, 35, 40, 59 and 65.

These designs / plans are to be undertaken by a suitably qualified and competent engineer and are to be submitted to, and gain the approval of, the Waikato District Council.

The plans shall be in general accordance with the information supplied in support of the application and in accordance with the Waikato District Plan Franklin Section and the Hamilton City Infrastructure Technical Specification.

No works shall be undertaken without this written approval first being obtained.

Road to Vest

- Lot 100 and Lot 101 shall vest in Waikato District Council as road as shown on the approved plans;
 - 2011-01-100 Rev C1 Proposed Subdivision Plan Stage 1 Overall Layout
 - 2011-01-101 Rev C1 Proposed Subdivision Plan Stage 1 Detail Sheet

Landscaping works - Road Reserve

- Within the next planting season (May to September) following the completion of construction works on the reserves and roads, the consent holder shall implement the Council approved Landscaping Plan prepared for Lots 100 & 101 (road to vest), to the approval of Waikato District Council Senior Land Development Engineer.
- All landscaped areas shall be maintained for a period of two years from the issue of the certificate of practical completion. In order to satisfy this condition, a bond agreement between the Waikato District Council and the Consent Holder will be required.

Local Purpose Reserve to vest

- Lot 300 shall vest in Waikato District Council as Local Purpose (Drainage) Reserve as shown on the approved plans;
 - 2011-01-100 Rev C1 Proposed Subdivision Plan Stage 1 Overall Layout
 - 2011-01-101 Rev C1 Proposed Subdivision Plan Stage 1 Detail Sheet

Landscaping works - Drainage Reserve

- Within the next planting season (May to September) following the completion of construction works on the reserves and roads, the consent holder shall implement the Council approved Landscaping Plan prepared for Lot 300 (drainage), to the approval of Waikato District Council Senior Land Development Engineer, including child-proof fencing around any ponds.
- All landscaped areas shall be maintained for a period of two years from the issue of the certificate of practical completion. In order to satisfy this condition, a bond agreement between the Waikato District Council and the Consent Holder will be required.

Easements

29 Easements for Right of Way, Right to Convey Electricity, Water, Telecommunications and Computer Media shall be shown on the Land Transfer Plan and included in a memorandum of easements.

Prior to the application for s224 approval the Consent Holder shall comply with the following Conditions:

- 30 Written confirmation shall be provided from network utility operators for telecommunications and energy supply confirming that the connections and reticulations have been placed to the boundaries of Lots I to 42 and 55 to 66.
- 31 Fencing covenants shall be registered on all titles of properties with a common boundary to reserve land (Lots 42, 60 & 61), indemnifying Council against all costs of erection and maintenance of fences on the common boundary.

Contaminated Land Remediation

- 32 The site shall be remediated in accordance with the approved Remedial Action Plan included within the Focus Environmental Detailed Site Investigation, Remediation Action Plan and Assessment of Environmental Effects for 99 Escotts Road, Tuakau dated October 2014.
- 33 The consent holder shall submit a site validation report prepared by a suitably qualified and experienced practitioner in accordance with the current edition of the Ministry for the Environment Contaminated Land Management Guidelines No: I Reporting on Contaminated sites in New Zealand, to the satisfaction of Waikato District Council's Environmental Health Manager.
- 34 All material removed from the site in the course of the remedial works shall be disposed of at a suitably licensed and lawfully established facility. Receipts for disposal shall be made available to Waikato District Council upon request.

Construction

35 Constructions of the works in general accordance with the designs/plans approved by Waikato District Council are to be undertaken by the consent holder.

As-Builts

- 36 The consent holder shall provide to the satisfaction of the Waikato District Council, as-built information for the constructed wastewater, public stormwater, street lighting and water supply connections in accordance with the requirements of the Hamilton City Council Infrastructure Technical Specification.
- 37 The consent holder shall provide to the satisfaction of Waikato District Council RAMM information for Lot 100 and Lot 101 (Being the proposed road to vest), in the correct format for data input. RAMM data is to be submitted by a suitably qualified RAMM Technician. This information shall be in accordance with the requirements of the Hamilton City Infrastructure Technical Specification.
- 38 The consent holder shall provide to the satisfaction of Waikato District Council, Engineering as-built drawings of Lot 100 and Lot 101 (being the proposed road to vest). This information shall be in accordance with the requirements of the Hamilton City Infrastructure Technical Specification.

Certification

39 The consent holder shall provide a 'Producer Statement — Construction' for each separate works undertaken as part of the consented subdivision.

Advice Note:

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An example of an acceptable format for certification upon completion of works can be found in the Hamilton City Development Manual, Volume 4: Part 9 Appendix

40 Provide a 'Certificate of Completion of Development Works' prepared and signed by the Developers Representative, to confirm that all works have been carried out in accordance with the plans and appropriate standards.

Advice Note:

An example of an acceptable format for a 'Certificate of Completion of Development Works' can be found from the Hamilton City Development Manual, Volume 4: Part 9 Appendix 4(i) or alternative standard approved by the Waikato District Council.

Standard of Local Purpose reserve

Lot 300 Local Purpose Reserve to vest, shall be cleared of noxious weeds and of an acceptable standard to Waikato District Council's Reserve staff.

In accordance with section 221 of the Resource Management Act 1991 the following condition/s shall apply on an ongoing basis by the subdividing owner and subsequent owners and shall be registered against the relevant certificates of title

- Lots 1-42, 55-66 must provide onsite stormwater management which meets the following:
 - a) Onsite stormwater management which meets the requirements of Table 1:

Table 1:

Lot	On Lot	On Lot Detention R	equirements
Numbers	Treatment Requirements		
Lots 1-44 Lots 55-66	Rain Garden with plan area of 1.25% of total lot area	10m ³ above ground tank or below ground tank with volume of 2.5% of lot area	400mm ponding depth

- b) All devices must be designed to meet drawings 2011-01-SK18-01 and 02 and the Hamilton City Council Three Waters Management Practice HCC 04: Bioretention systems (Raingardens).
- c) Detailed design to show compliance with a) and b) above shall be provided at the time of any building consent application.
- d) Any stormwater management device or system must be built in accordance with design specifications by a suitably qualified person and must be fully operational prior to use of the impervious area.
- e) 'As built' plans for any stormwater management device or system must be provided to Council within three months of practical completion of the works.
- f) Any stormwater management device or system must be operated and maintained in perpetuity accordance with best practice for the device or system.

- g) The continued effective operation and maintenance of this system is the responsibility of the property owner
- h) Devices are to remain in private ownership by the lot owner
- i) For any rain gardens, the following shall apply;

The current and future owners shall, on installation of any approved on-site stormwater treatment system required by this condition, enter into, and maintain in force at all times, a written maintenance and monitoring contract with an experienced drainlayer, for the ongoing maintenance of the installed rain garden(s).

The contract shall specify the frequency of the rain garden inspections and maintenance and shall include an inspection and maintenance schedule.

The maintenance/monitoring report shall include, but not be limited to, the following information:

- (a) the date the inspection was undertaken and the name of the service provider, and;
- (b) any maintenance undertaken during the visit or still required, and a timetable for the expected completion of this work, and;
- (c) a description of the appearance of the rain garden, and;

Current and future owners shall ensure that maintenance/monitoring is undertaken in accordance with this approved contract.

Records of maintenance/monitoring undertaken in accordance with the approved contract shall be held and presented to Waikato District Council General Manager Service Delivery, every five years, if requested.

Consent notices shall be prepared by Waikato District Council's Solicitor at the Consent Holders cost. Please request your consent notice be prepared prior to requesting 224(c) approval.

STAGE 2 - Lots 43-54 & 67-93, Lot 102, Lots 200-202 and Lot 300 and Lots 400-402

Prior to application for approval of the survey plan (s223), the Consent Holder shall comply with the following conditions:

The consent holder shall obtain (or apply concurrently for) 224 certification for Stage 1.

Engineering Design/Plans

- The consent holder shall commission engineering designs/plans for the works described below:
 - (a) Install reticulated wastewater system in general accordance with the plans submitted with the application.
 - (b) Install reticulated stormwater management in general accordance with the plans submitted with the application. Regional Council Consent shall be provided for proposed discharge to the Kairoa Stream.

- (c) Install reticulated water in subdivision and connected to the Council watermain on George St in general accordance with the plans submitted with the application.
- (d) Undertake earthworks in general accordance with the plans and report provided with the application. Where there is a discrepancy between the plans /reports provided by CivilPlan Consultants and Lander Geotechnical Consultants Limited dated 28 March 2018 shall prevail. Regional Council Consent shall be provided for the proposed earthworks.
- (e) Construct the road to vest Lot 102, inclusive of, but not limited to, footpaths, parking facilities, reserve entrance, lighting and street planting in general accordance with plans provided with application.
- (f) Install concrete vehicle entrances to Lots, 68, 69, 70, 71, 72 and Lot 500
- (g) Install footpaths and access to reserves Lots -200, 201 and 202
- (h) Install childproof fencing around any stormwater ponds

These designs/plans are to be undertaken by a suitably qualified and competent engineer-and are to be submitted to, and gain the approval of, the Waikato District Council.

The plans shall be in general accordance with the information supplied in support of the application and in accordance with the Waikato District Plan Franklin Section and the Hamilton City Infrastructure Technical Specification.

No works shall be undertaken without this written approval first being obtained.

Esplanade Reserve plantings

- The consent holder shall develop and submit to Council for approvals, a planting plan for the Esplanade Reserves. The plan shall include:
 - (a) A schedule of species to be planted including botanical name, common name, scheduled size (average plant height or PB size at time of planting), plant spacing, quantity and average mature height and mature spread of each;
 - (b) Implementation schedule; and
 - (c) Management and maintenance plan.
- The consent holder shall provide evidence that the approved esplanade reserve planting plan has been implemented within the first planting season after approval of the esplanade planting plan to the satisfaction of Waikato District Council.

Prior to the application for s224 approval the Consent Holder shall comply with following Conditions:

Road to Vest

47 Lot 102 shall vest in Waikato District Council as road.

Landscaping works - Road Reserve

Within the next planting season (May to September) following the completion of construction works on the reserves and roads, the consent holder shall implement the Council approved Landscaping Plan prepared for Lot 102 (road to vest), to the approval of Waikato District Council Senior Land Development Engineer.

49 All landscaped areas shall be maintained for a period of two years from the issue of the certificate of practical completion. In order to satisfy this condition, a bond agreement between the Waikato District Council and the Consent Holder will be required.

Esplanade Reserves to Vest

50 Lots 400-402 shall vest in the Waikato District Council as Local Purpose Reserve (Esplanade). The proposed reserve should average 20m along the full length of the stream. At no point shall the width be smaller than 5m, and it shall have sufficient width, as agreed with Council to enable a walkway I cycleway with a 3m width to be located a safe distance from the Kairoa Stream. The esplanade reserve shall be appropriately demarcated, as agreed with Council to avoid encroachment.

Advice Note: It is acknowledged that the esplanade reserves are to be vested to Council at no cost.

Local Purpose Lots to Vest

51 Lots 200, 201 and 202 shall vest in Waikato District Council as Local Purpose (Accessway) Reserve.

Landscaping works - Accessway Reserves

- 52 Within the next planting season (May to September) following the completion of construction works on the reserves and roads, the consent holder shall implement the Council approved Landscaping Plan prepared for Lots 200-202 (accessway), to the approval of Waikato District Council Senior Land Development Engineer.
- 53 All landscaped areas shall be maintained for a period of two years from the issue of the certificate of practical completion. In order to satisfy this condition, a bond agreement between the Waikato District Council and the Consent Holder will be required.
- 54 Lot 301 shall vest in Waikato District Council as Local Purpose (Drainage) Reserve.
- 55 Within the next planting season (May to September) following the completion of construction works on the reserves and roads, the consent holder shall implement the Council approved Landscaping Plan for Lot 301 (drainage reserve to vest) respectively, to the approval of Waikato District Council Senior Land Development Engineer.
- 56 All landscaped areas shall be maintained for a period of two years from the issue of the certificate of practical completion. In order to satisfy this condition, a bond agreement between the Waikato District Council and the Consent Holder will be required.
- 57 Written confirmation shall be provided from network utility operators for telecommunications and energy supply confirming that the connections and reticulations have been placed to the boundaries of Lots 43-54 & 67-93.
- 58 Fencing covenants shall be registered on all titles of properties with a common boundary to reserve land (Lots 43, 47, 48, 71, 72, 75, 78, 79, 80 & 82-88), indemnifying Council against all costs of erection and maintenance of fences on the common boundary.

Version: 1, Version Date: 26/06/2018

Document Set ID: 1988430

Standard of Esplanade reserves

Lots 400, 401 and 402 to be vested shall be cleared of noxious weeds.

Standard of Local Purpose reserves

Lots 201, 202, and 301 Local Purpose Reserve to vest, shall be cleared of noxious weeds.

Construction

Construction of the works in the designs / plans approved by Waikato District Council are to be undertaken by the consent holder.

As-Builts

- The consent holder shall provide to the satisfaction of the Waikato District Council, as-built information for the constructed wastewater, public stormwater, street lighting and water supply connections in accordance with the requirements of the Hamilton City Council Infrastructure Technical Specification.
- The consent holder shall provide to the satisfaction of Waikato District Council RAMM information for Lot 102 (Being the proposed road to vest), in the correct format for data input. RAMM data is to be submitted by a suitably qualified RAMM Technician. This information shall be in accordance with the requirements of the Hamilton City Infrastructure Technical Specification.
- The consent holder shall provide to the satisfaction of Waikato District Council, Engineering as-built drawings of Lot 102 (being the proposed road to vest). This information shall be in accordance with the requirements of the Hamilton City Infrastructure Technical Specification.

Certification

The consent holder shall provide a 'Producer Statement — Construction' for each separate works undertaken as part of the consented subdivision.

Advice Note:

An example of an acceptable format for certification upon completion of works can be found in the Hamilton City Development Manual, Volume 4: Part 9 Appendix 4(ii).

Provide a 'Certificate of Completion of Development Works' prepared and signed by the Developers Representative, to confirm that all works have been carried out in accordance with the plans and appropriate standards.

Advice Note:

An example of an acceptable format for a 'Certificate of Completion of Development Works' can be found from the Hamilton City Development Manual, Volume 4: Part 9 Appendix 4(i) or alternative standard approved by the Waikato District Council.

Amalgamation Conditions

- That Lot 500 hereon (legal access) be held as to four undivided one fourth shares by the owners of Lots 85-88 hereon as tenants in common in the said shares and that individual computer registers be issued in accordance therewith. (see LINZ request 1517984).
- Easements in gross for public reticulation located within Access Lot 500 in favour of the Waikato District Council shall be granted and reserved. The easement in gross shall be shown on the survey plan and included in the memorandum of easements.

In accordance with section 221 of the Resource Management Act 1991 the following condition/s shall apply on an ongoing basis by the subdividing owner and subsequent owners and shall be registered against the relevant certificates of title

The current and future owners of Lots 71-88 (inclusive) be informed that there is a horticultural block (kiwifruit orchard) located to the east of these properties, which is also zoned industrial. As a result of this, the use of machinery, such as orchard mowers, mulching machines, air blast sprayers and helicopters (including at night for frost protection), agricultural spraying and other similar activities may occur.

As a result of this where the land use activities in the surrounding area are carried out in accordance with the relevant plan requirements, the property owner, or their successor in title shall not:

- (i) Make nor lodge; nor
- (ii) Be party to; nor
- (iii) Finance nor contribute to the cost of:

Any application, proceeding or appeal (either pursuant to the Resource Management Act 1991 or otherwise) designed or intended to limit prohibit or restrict the continuation of the operations of any lawfully established activity on surrounding land, including without limitation any action to require the surrounding landowners/occupiers to modify the operations carried out on their land.

- Lots 43-44, 67-72 must provide onsite stormwater management which meets the following:
 - a) Onsite stormwater management which meets the requirements of Table 1:

Table 1:

Lot Numbers	On Lot Treatment Requirements	On Lot Detention Re	equirements
Lots 43-44	Rain Garden with plan area of 1.25% of total lot area	10m ³ above ground tank or below ground tank with volume of 2.5% of lot area	400mm ponding depth above rain garden
Lots 67-70	Rain Garden with plan area of 1.25% of total lot area and designed	10m ³ above ground tank or below ground tank with volume of 2.5% of lot area	400mm ponding depth above rain garden
Lots 71-72	Rain Garden with plan area of 8m²	10m³ above or 16m³ below ground tank	400mm ponding depth above rain garden

- b) All devices must be designed to meet drawings 2011-01-SK18-01 and 02 and the Hamilton City Council Three Waters Management Practice HCC 04: Bioretention systems (Raingardens).
- c) Detailed design to show compliance with a) and b) above shall be provided at the time of any building consent application.
- d) Any stormwater management device or system must be built in accordance with design specifications by a suitably qualified person and must be fully operational prior to use of the impervious area.
- e) As built' plans for any stormwater management device or system must be provided to Council within three months of practical completion of the works.
- f) Any stormwater management device or system must be operated and maintained in perpetuity accordance with best practice for the device or system.
- g) The continued effective operation and maintenance of this system is the responsibility of the property owner
- h) Devices are to remain in private ownership by the lot owner
- i) For any rain gardens, the following shall apply;

The current and future owners shall, on installation of any approved on-site stormwater treatment system required by this condition, enter into, and maintain in force at all times, a written maintenance and monitoring contract with an experienced drainlayer, for the ongoing maintenance of the installed rain garden(s).

The contract shall specify the frequency of the rain garden inspections and maintenance and shall include an inspection and maintenance schedule.

The maintenance/monitoring report shall include, but not be limited to, the following information:

- (d) the date the inspection was undertaken and the name of the service provider, and;
- (e) any maintenance undertaken during the visit or still required, and a timetable for the expected completion of this work, and;
- (f) a description of the appearance of the rain garden, and;

Current and future owners shall ensure that maintenance/monitoring is undertaken in accordance with this approved contract.

Records of maintenance/monitoring undertaken in accordance with the approved contract shall be held and presented to Waikato District Council General Manager Service Delivery, every five years, if requested.

Consent notices shall be prepared by Waikato District Council's Solicitor at the Consent Holders cost. Please request your consent notice be prepared prior to requesting 224(c) approval.

Advice Notes (all stages)

- This Resource Consent for subdivision lapses five years after the date of this decision unless:
 - (a) The Consent is given effect to prior to that date. To give effect to this consent, the Survey Plan for this subdivision must have been submitted to Waikato District Council pursuant to section 223 of the Resource Management Act 1991; or
 - (b) An application is made before the expiry of the above mentioned date for Waikato District Council to grant an extension of time pursuant to section 125 of the Resource Management Act 1991.
- A Corridor Access Request (CAR), including traffic management plan, for any works to be carried out in the road reserve should be completed by a qualified Site Management Traffic Supervisor (STMS), and provided to the Waikato District Council's Traffic Management Co-ordinator for approval not less than 15 working days prior to any works being undertaken. No works may be undertaken until approval for the CAR is obtained in writing.
- 3 The Consent Holder should either:
 - (a) At each stage, provide evidence that a Development Agreement has been entered into with the Waikato District Council, or;
 - (b) Provide evidence of payment of development contributions, pursuant to Section 106(2) of the Local Government Act 2002, for the following services (GST inclusive) listed in Development Contributions Notice as they are applicable to the number of new residential lots created by each stage.
- The Consent Holder should ensure that any debris tracking/ spillage onto any public roads as a result of the exercise of this consent should be removed as soon as practical, and within a maximum of 24 hours after the occurrence, or as otherwise directed by the Waikato District Council.
- The Consent Holder should be aware of the following lwi (Ngati Tamaoho) recommendations:
 - site blessing prior to works commencing
 - cultural induction and
 - cultural monitoring of all topsoil removal especially within the vicinity of the Kaiora stream
 - naming and signage opportunities



Schedule 2

Reasons for Decision

Resource Consent No: SUB0311/18

- The actual and potential effects created by the proposal are minimal because:
 - The Waikato District Council Land Development Engineering Department is satisfied that conditions of subdivision consent can ensure no significant adverse effects will accompany the subdivision proposal.
 - A number of effects have been disregarded due to the existing environment which contains a subdivision consent. The proposal results in one additional lot, but this is considered to still result in a comparable situation.
 - With respect to the change in road layout, Council's Reserves Team have raised no issues with the new location. In addition, Council's Senior Land Development Engineer, Chris Gatehouse and Council's Intermediate Land Development Engineer, James Templeton, have assessed the application and have not raised any traffic issues.
 - Council's Senior Land Development Engineer, Chris Gatehouse and Council's Intermediate Land Development Engineer, James Templeton, have assessed the application and have not raised any stormwater issues.
 - The potential risk from inundation will remain the same from that which was consented.
 - Stormwater will be managed in an appropriate manner on the site, including treatment.
- The proposal is consistent with the objectives and policies of the operative District Planning documents.
- 3. The subdivision meets the provisions of section 106 of the RMA because legal and physical access is provided for and the applicant has addressed the risks of natural hazards through design and mitigation measures proposed.
- The proposal is consistent with the operative Waikato Regional Policy Statement and all other relevant matters.
- 5 Overall the proposal meets the purpose (section 5) and principles (sections 6-8) of the Resource Management Act 1991.

DRAWING CONTROL RECORD

PROJECT NAME: 99 Escotts Road, Tuakau

PROJECT NO: 2011

DATE: 31 May 2018

CLIENT NAME: Hughes Developments Limited

ISSUED BY: Ryan Pitkethley

RESOURCE CONSENTS NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date: 25/06/2018

NOT FOR CONSTRUCTION

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	Council - Brian Richmond (SW Discharge)				PDF				PDF				PDF	
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2011-01-099	GENERAL LAYOUT PLAN	C1	C1	C1	C1	C1								
2011-01-100 2011-01-101	PROPOSED SUBDIVISION PLAN-STAGE 1-OVERALL LAYOUT PROPOSED SUBDIVISION PLAN-STAGE 1-DETAIL SHEET	C1	C1	-	-	C1	-		-	-		-	-	
2011-01-101	PROPOSED SUBDIVISION PLAN-STAGE 1-DETAIL SHEET PROPOSED SUBDIVISION PLAN-STAGE 2-OVERALL LAYOUT	C1	C1		-	C1								
2011-01-102	PROPOSED SUBDIVISION PLAN-STAGE 2-OVERALL LAYOUT PROPOSED SUBDIVISION PLAN-STAGE 2-DETAIL SHEET 1	C1 C1	C1			C1 C1								
2011-01-103	PROPOSED SUBDIVISION PLAN-STAGE 2-DETAIL SHEET 1	C1	C1			C1								
2011-01-104	TOPOGRAPHICAL PLAN	C1	C1	C1		C1								
2011-01-160	CLEARING PLAN	C3	C1	C1	-	C2							C3	C3
200-Earthworks														05
2011-01-200	FINISHED CONTOURS PLAN	C1	C1	C1		C1								
2011-01-220	ISOPACHS PLAN	C1	C1	C1		C1								
2011-01-221	GEOTECHNICAL DRAINAGE DETAILS	C1	C1	C1		C1								
2011-01-230	SEDIMENT AND EROSION CONTROL - LAYOUT PLAN	C1	C1	C1		C1								
2011-01-231	SEDIMENT AND EROSION CONTROL - POND 2 DETAIL	C1	C1	C1		C1								
2011-01-235	SEDIMENT AND EROSION CONTROL STD DETAILS - SHEET 1	C1	C1	C1		C1								
2011-01-236	SEDIMENT AND EROSION CONTROL STD DETAILS - SHEET 2	C1	C1	C1		C1								
2011-01-237	SEDIMENT AND EROSION CONTROL STD DETAILS - SHEET 2	C1	C1	C1	-	C1	_			_		_		
2011-01-240	EARTHWORKS CROSS SECTIONS - SHEET 1	C1	C1	C1		C1								
2011-01-241 2011-01-270	EARTHWORKS CROSS SECTIONS - SHEET 2 RETAINING WALL - PLAN AND ELEVATION - SHEET 1	C1	C1	C1	-	C1					- 62			
2011-01-270	RETAINING WALL - PLAN AND ELEVATION - SHEET 1	C3	C1	C1		C1 C1	C2 C2	C2 C2		C2 C2	C3	C3		
2011-01-271	RETAINING WALL FLAN AND ELEVATION - SHEET 2 RETAINING WALL GEOTECHNICAL DETAILS - SHEET 1	C1	CI	CI		CI	C2	C2		C1	C3	C3		
2011-01-272	RETAINING WALL GEOTECHNICAL DETAILS - SHEET 1	C1	+	-			C1	C1		C1				
2011-01-273	RETAINING WALL GEOTECHNICAL DETAILS - SHEET 3	C1	1				C1	C1		C1				
2011-01-275	RETAINING WALL GEOTECHNICAL DETAILS - SHEET 4	C1	1				C1	C1		C1				
2011-01-276	RETAINING WALL GEOTECHNICAL DETAILS - SHEET 5	C1					C1	C1		C1				
2011-01-277	RETAINING WALL GEOTECHNICAL DETAILS - SHEET 6	C1					C1	C1		C1				
2011-01-278	RETAINING WALL GEOTECHNICAL DETAILS - SHEET 7	C1					C1	C1		C1				
300-Roading														
2011-01-300	ROAD LAYOUT PLAN	C1	C1			C1								
2011-01-305	VEHICLE TRACKING PLAN - LARGE RIGID TRUCK	C1	C1			C1								
2011-01-315	COMBINED SERVICES - DETAIL PLAN - SHEET 1	C1	C1			C1								
2011-01-316	COMBINED SERVICES - DETAIL PLAN - SHEET 2	C1	C1			C1								
2011-01-317	COMBINED SERVICES - DETAIL PLAN - SHEET 3	C1	C1			C1								
2011-01-318	COMBINED SERVICES - DETAIL PLAN - SHEET 4	C1	C1	-	-	C1		-						
2011-01-319	COMBINED SERVICES - DETAIL PLAN - SHEET 5	C1	C1	-	-	C1								
2011-01-320	ROAD LONGITUDINAL SECTIONS - SHEET 1	C1	C1	-		C1								
2011-01-321 2011-01-322	ROAD LONGITUDINAL SECTIONS - SHEET 2 ROAD LONGITUDINAL SECTIONS - SHEET 3	C1	C1		-	C1							-	
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)11-01-323)11-01-330	ROAD LONGITUDINAL SECTIONS - SHEET 4 ROAD TYPICAL CROSS SECTION - SHEET 1	C1 C1	C1			C1 C1									
011-01-331	ROAD TYPICAL CROSS SECTIONS SHEET 2	C1	C1			C1									
11-01-332	ROAD TYPICAL CROSS SECTION - SHEET 3	C1	C1			C1									
)11-01-333)11-01-334	ROAD TYPICAL CROSS SECTION - SHEET 4 ROAD TYPICAL CROSS SECTION - SHEET 5	C1 C1	C1			C1									
)11-01-334	RAISED TABLE DETAILS	C2	C1 C1			C1	C2			C2					
011-01-350	JOINT OWNED ACCESS LOT 500 DETAILS	C1	C1			C1									
011-01-351	ACCESSWAY DETAILS THROUGH LOT 202	C1	C1			C1									
011-01-352	ACCESSWAY DETAILS THROUGH LOT 301	C2	C1			C2									
011-01-353 011-01-360	ACCESSWAY DETAILS THROUGH LOT 201 ROAD INTERSECTION DETAILS - SHEET 1	C1	C1			C1	-		-			-			
011-01-360	ROAD INTERSECTION DETAILS - SHEET 1	C1 C1	C1 C1			C1								\vdash	-
011-01-362	ROAD INTERSECTION DETAILS SHEET 2	C1	C1			C1								\vdash	-
011-01-380	ROAD MARKING PLAN - OVERALL LAYOUT PLAN	C3	C1			C2	C2				C3	C3			
011-01-381	ROAD MARKING PLAN - DETAIL SHEET 1	C3	C1			C2	C2				C3	C3			
011-01-382 011-01-390	ROAD MARKING PLAN - DETAIL SHEET 2 ROADING STANDARD DETAILS - SHEET 1	C3	C1			C2	C2		_		C3	C3			
11-01-390	ROADING STANDARD DETAILS - SHEET 1	C1 C1	C1 C1			C1									
00-Drainage	NOADING STANDARD BETALES SHEET 2	CI	CI			CI									-
11-01-400	DRAINAGE RETICULATION PLAN - OVERALL LAYOUT	C3	C1		C1	C1	C2		C2	C2			C3	С3	
11-01-401	DRAINAGE RETICULATION PLAN - DETAIL SHEET 1	C3	C1		C1	C1	C2		C2	C2			C3	C3	
011-01-402	DRAINAGE RETICULATION PLAN - DETAIL SHEET 2	C2	C1		C1	C1	C2		C2	C2		-			
011-01-420 011-01-430	OVERLAND FLOWPATH PLAN - PLAN AND SECTIONS STORMWATER LONGITUDINAL SECTIONS - SHEET 1	C1 C3	C1		C1 C1	C1 C2							C3	C3	
011-01-431	STORMWATER LONGITUDINAL SECTIONS - SHEET 2	C1	C1		C1	C1							C.S	C.S	
011-01-432	STORMWATER LONGITUDINAL SECTIONS - SHEET 3	C1	C1		C1	C1									
011-01-433	STORMWATER LONGITUDINAL SECTIONS - SHEET 4	C2	C1		C1	C2									
011-01-434	STORMWATER LONGITUDINAL SECTIONS - SHEET 5	C1	C1		C1	C1									
011-01-435 011-01-436	STORMWATER LONGITUDINAL SECTIONS - SHEET 6 STORMWATER LONGITUDINAL SECTIONS - SHEET 7	C1 C1	C1 C1		C1 C1	C1									
011-01-450	WASTEWATER LONGITUDINAL SECTIONS - SHEET 1	C1	C1		CI	C1									-
011-01-451	WASTEWATER LONGITUDINAL SECTIONS - SHEET 2	C2	C1			C2									
011-01-452	WASTEWATER LONGITUDINAL SECTIONS - SHEET 3	C1	C1			C1									
011-01-453	WASTEWATER LONGITUDINAL SECTIONS - SHEET 4	C1	C1			C1									
011-01-454 011-01-455	WASTEWATER LONGITUDINAL SECTIONS - SHEET 5 WASTEWATER LONGITUDINAL SECTIONS - SHEET 6	C1	C1			C1	-		-		-	-			
011-01-456	WASTEWATER LONGITUDINAL SECTIONS - SHEET 7	C1 C1	C1 C1			C1									
011-01-457	WASTEWATER STREAM CROSSOVER LONGITUDINAL SECTION	C1	C1			C1									
011-01-461	WETLAND 2 DETAILS	C3	C1		C1	C2	C3		C3	C3					
011-01-462	WETLAND 3 DETAILS	C3	C1		C1	C2	C3		C3	C3					
011-01-463 011-01-464	WETLAND OUTLET MANHOLE DETAILS OUTLET DETAILS	C2	C1		C1	C2				- 62					
011-01-464	ROAD STORMWATER MITIGATION - LAYOUT PLAN	C2 C3	C1 C1		C1		C2		C2	C2			C2	C3	
011-01-466	ROAD STORMWATER MITIGATION - ATTENUATION TANK DETAILS	C2	C1		C1	C1							C2	C2	
011-01-470	TYPICAL RAIN GARDEN DETAILS - SHEET 1	C1	C1		C1										
011-01-480	STORMWATER MANHOLE DETAILS	C1	C1		C1	C1									
)11-01-490)11-01-495	STORMWATER STANDARD DETAILS - SHEET 1 WASTEWATER STANDARD DETAILS - SHEET 1	C1 C1	C1 C1		C1										
00-Services	WASTEWATER STANDARD DETAILS - SHEET 1	CI	CI			C1									
011-01-500	WATERMAIN RETICULATION PLAN	C1	C1			C1									-
011-01-560	WATERMAIN RETICULATION INTERSECTION DETAILS - SHEET 1	C1	C1			C1									
011-01-561	WATERMAIN RETICULATION INTERSECTION DETAILS - SHEET 2	C1	C1			C1	Ьг	97	11 17		= 7	\sim	งร	ENI	_
011-01-562	WATERMAIN RETICULATION INTERSECTION DETAILS - SHEET 3 WATERMAIN STANDARD DETAILS - SHEET 1	C1	C1												
011-01-590	DUCTING - ROAD CROSSING PLAN	C1 C1	C1 C1			C1	NC	:8	JB	03	11/	18	LL	JC)48
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Approved by Kelly Cattermole														
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Date: 25/06/2018														

Date:25/06/2018

NOT FOR CONSTRUCTION



HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

2011-01-333

PROJECT NUMBER: 2011

RESOURCE CONSENT
NO:SUB0311/18 LUC0489/18
Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION

CONSENT ISSUE MAY 2018

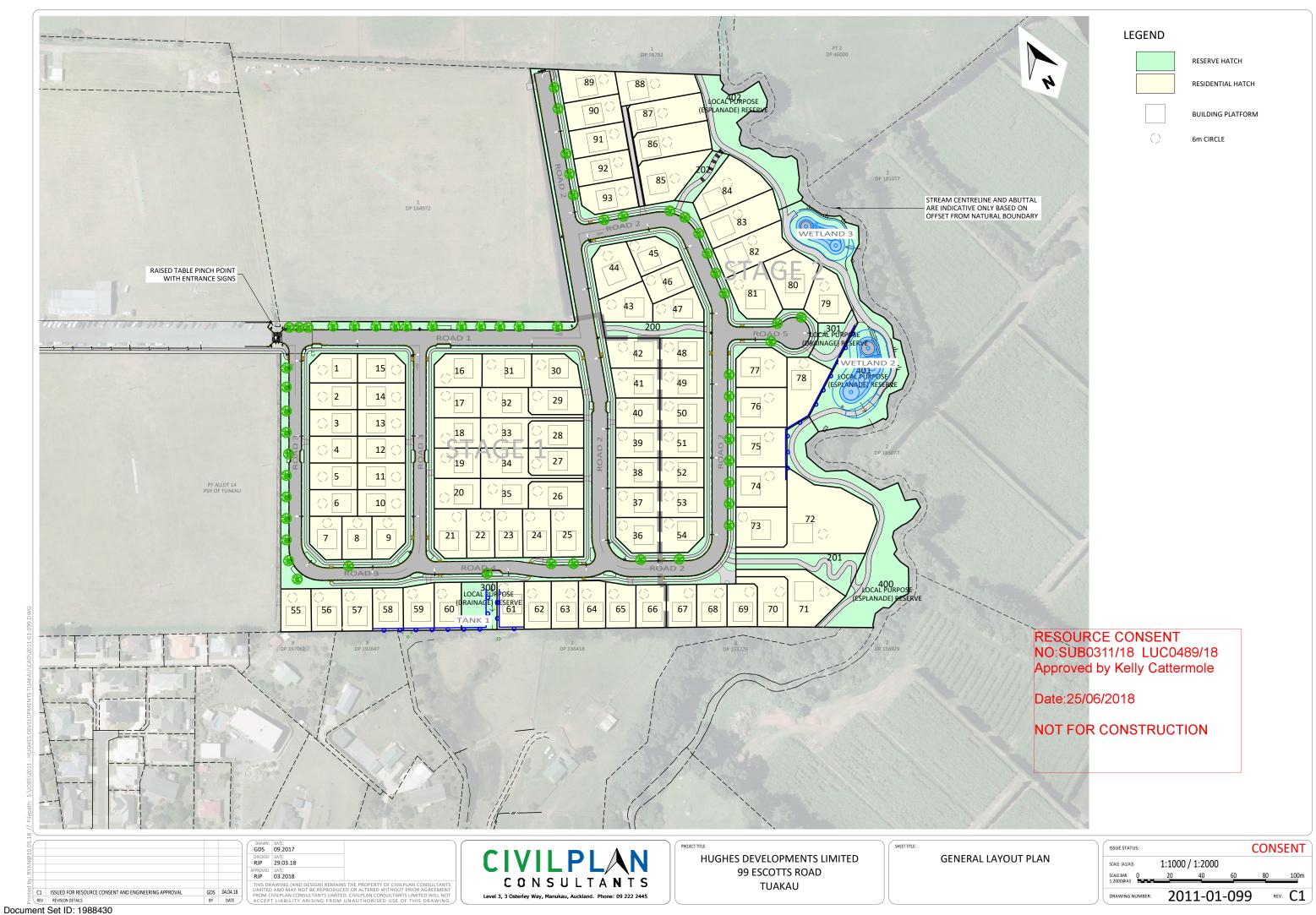
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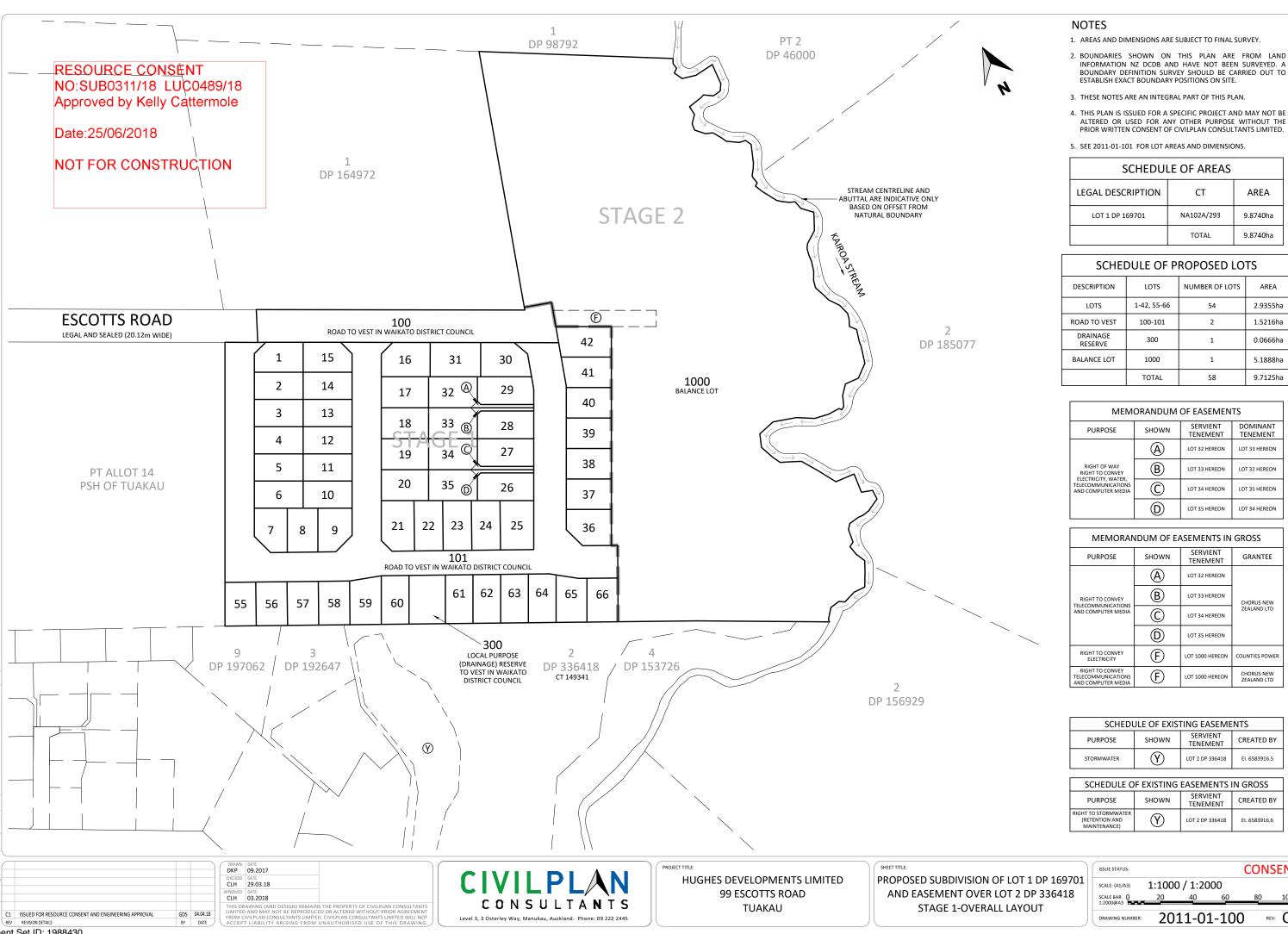
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2011-01-600	DUCTING - ROAD CROSSING PLAN







AREA

9.8740ha 9.8740ha

AREA

2.9355ha

1.5216ha

0.0666ha

5.1888ha

9.7125ha

TENEMENT

LOT 32 HEREON

LOT 35 HEREON

LOT 34 HEREON

GRANTEE

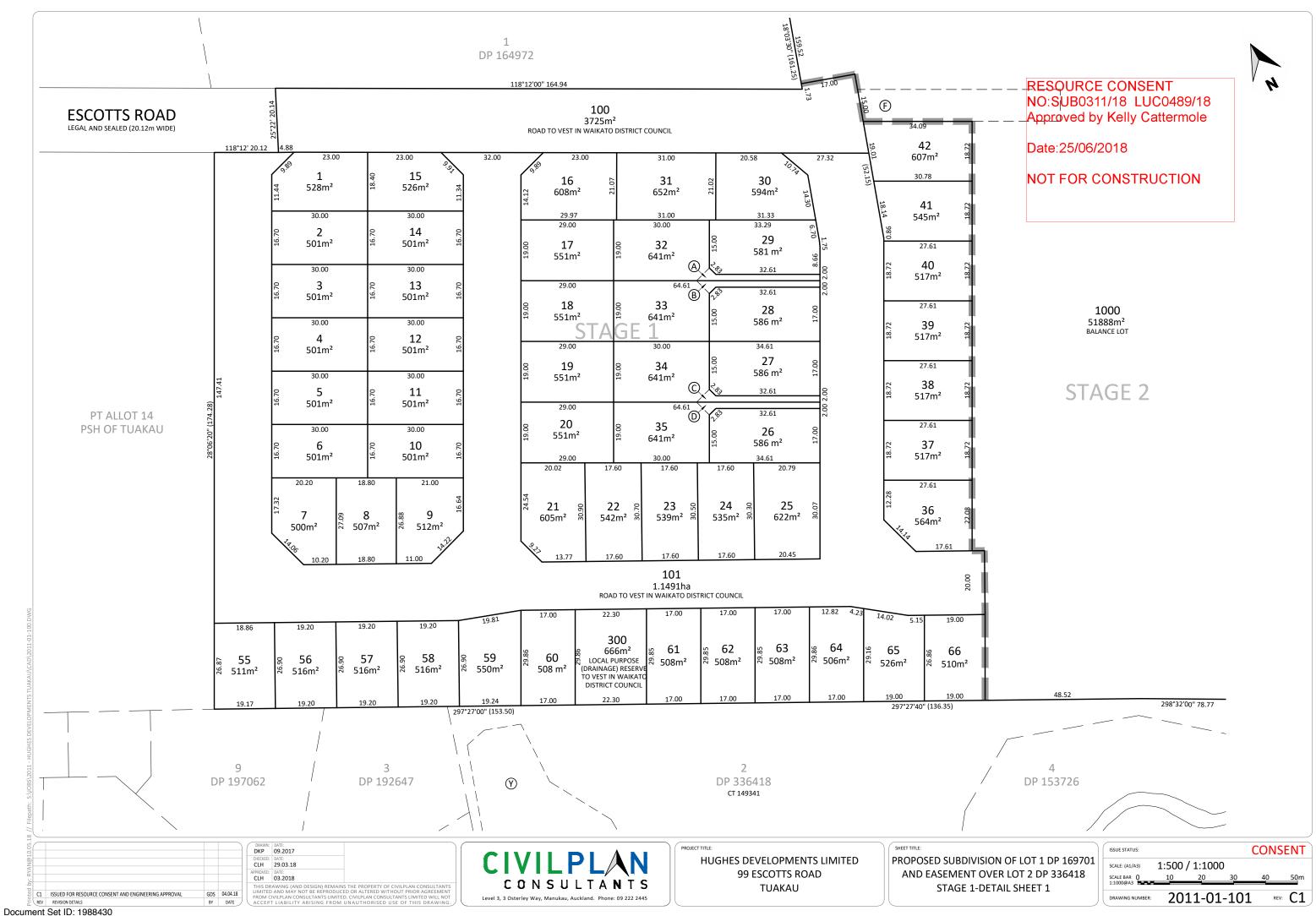
COUNTIES POWER

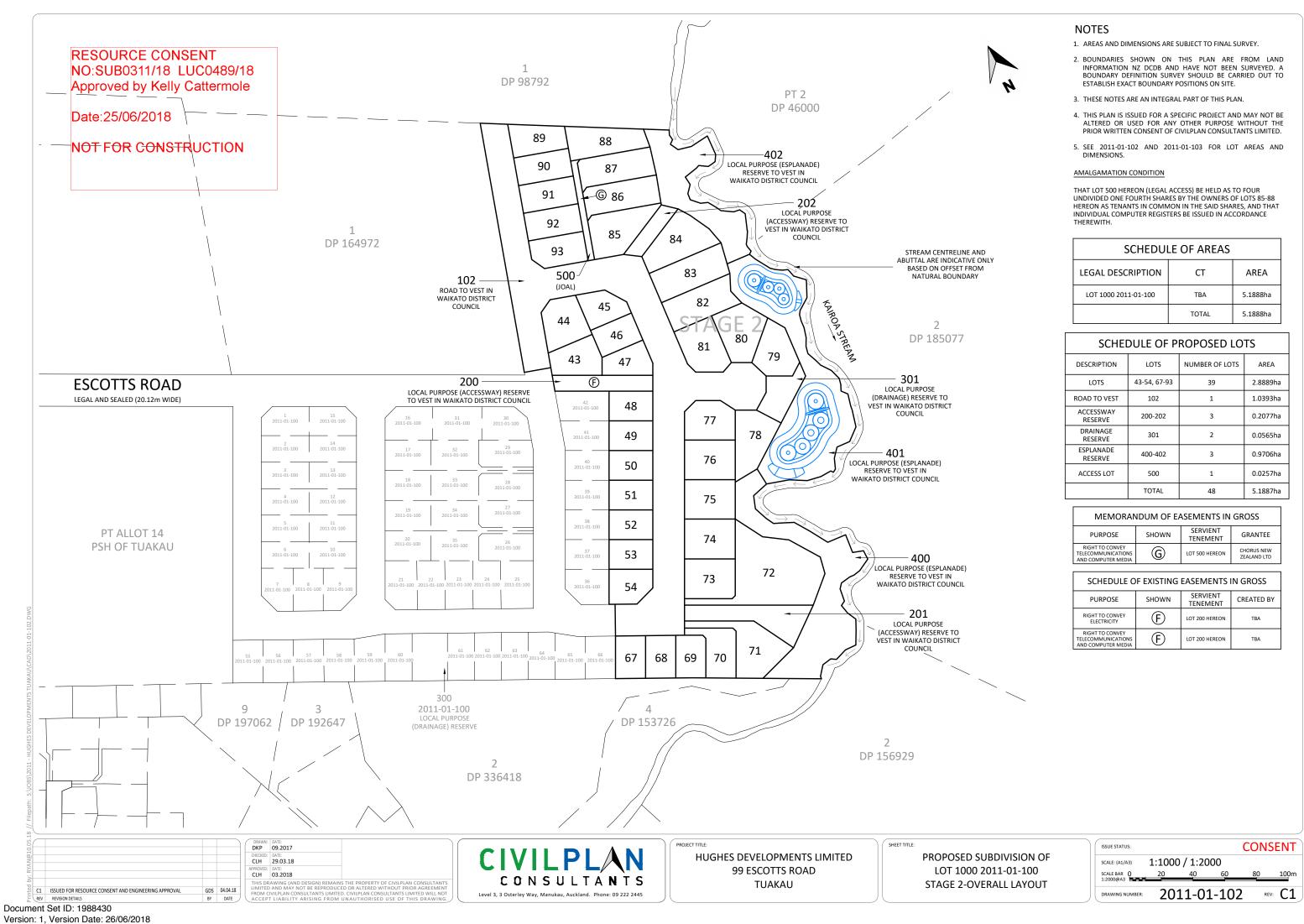
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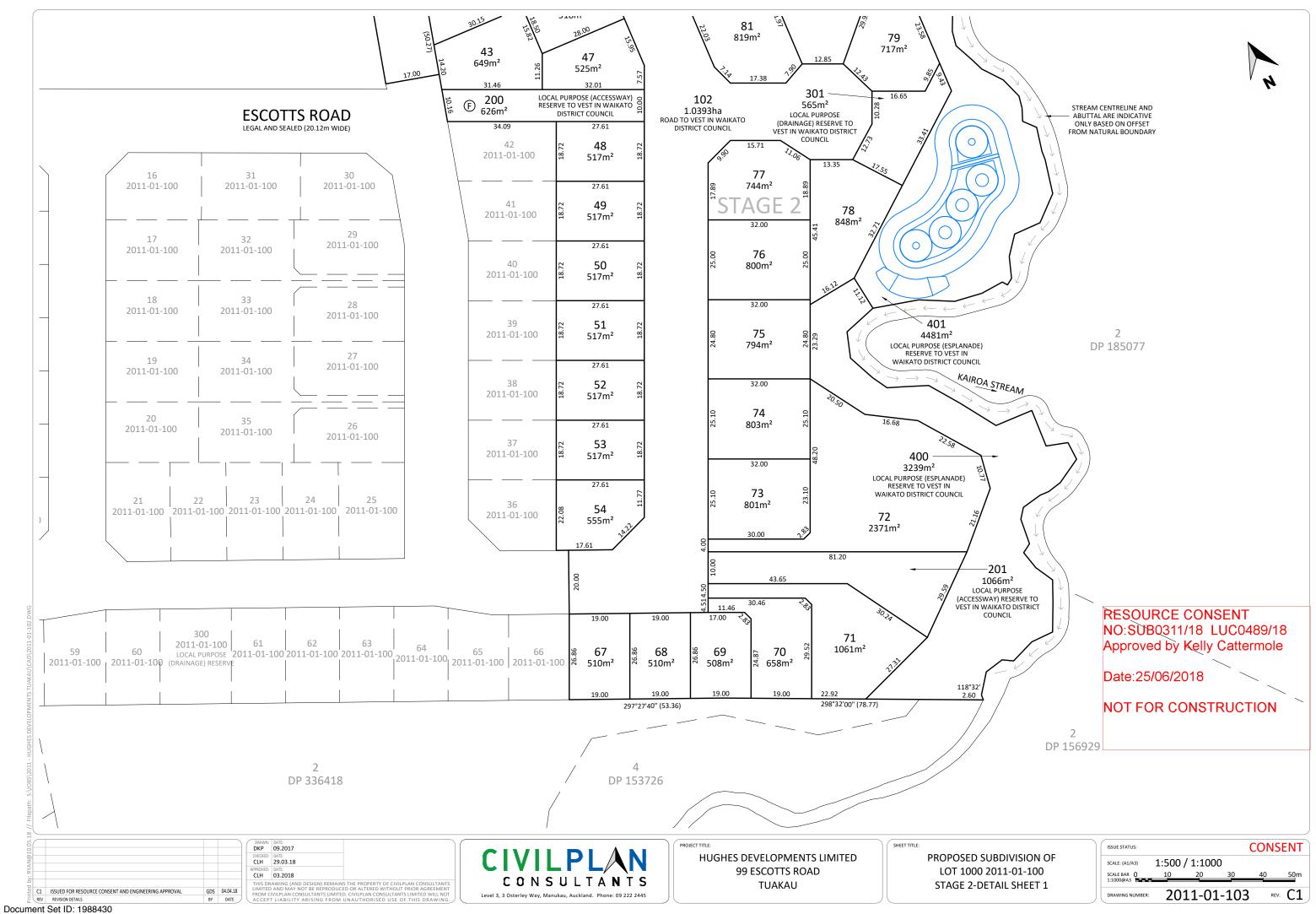
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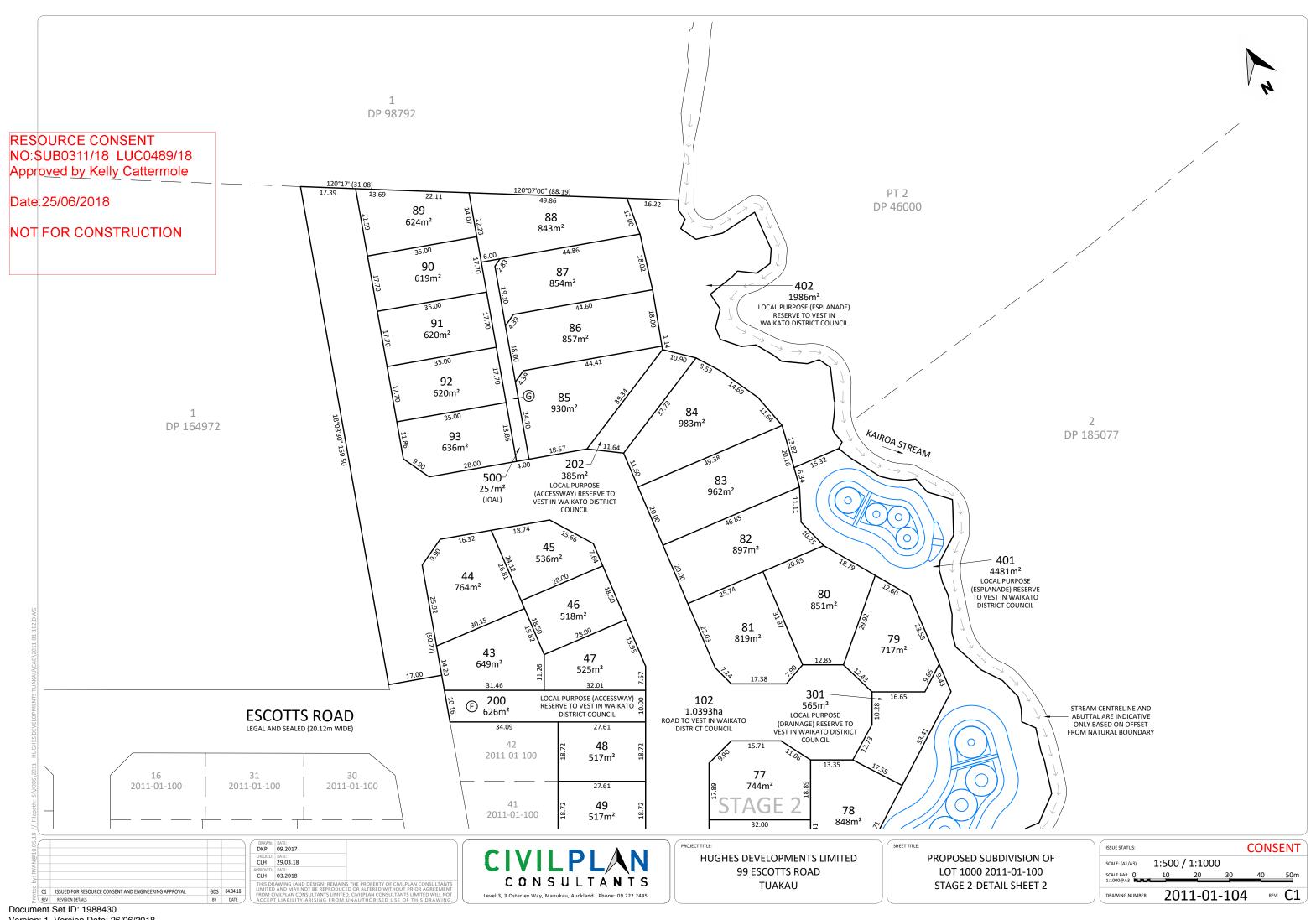
CONSENT



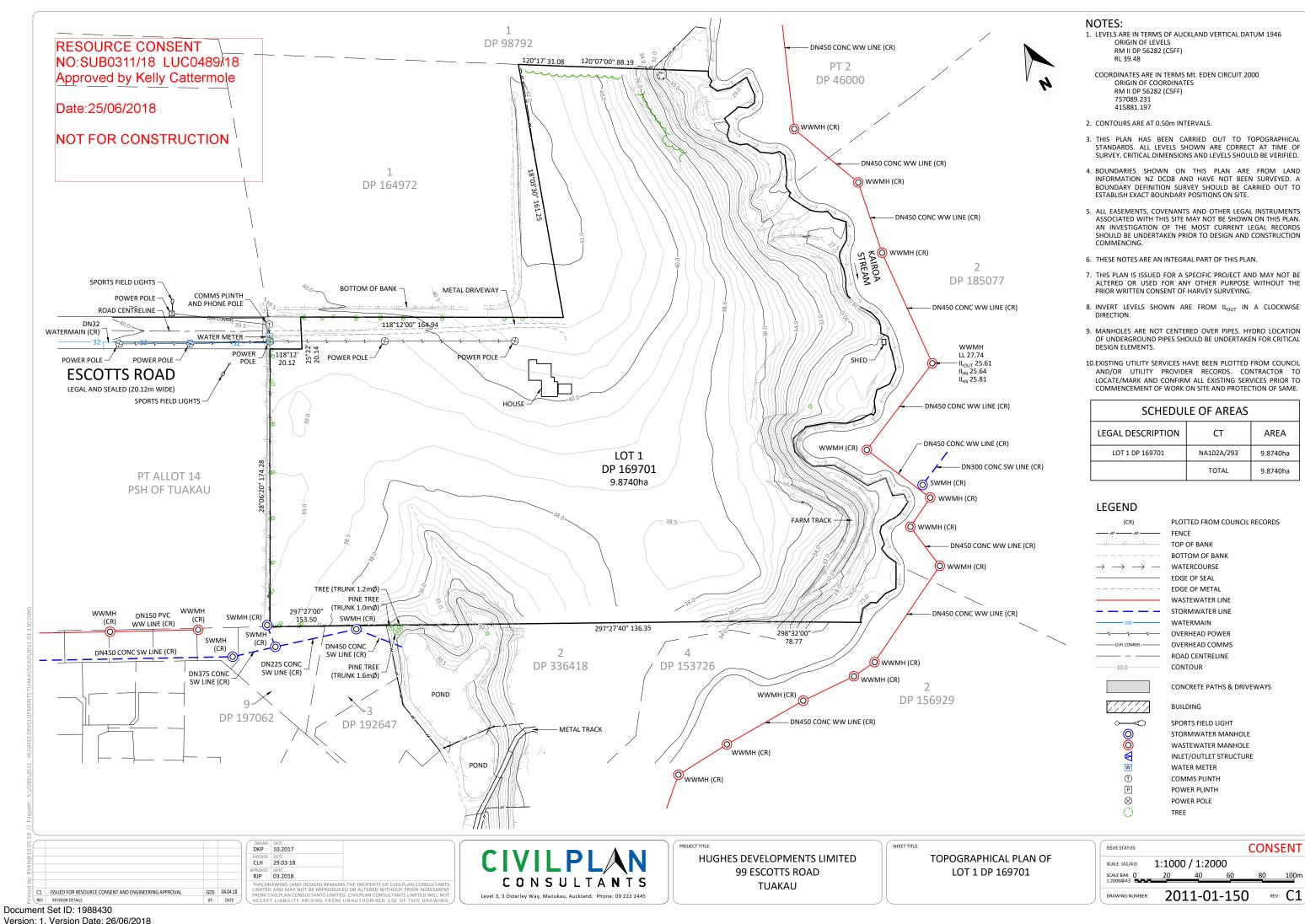


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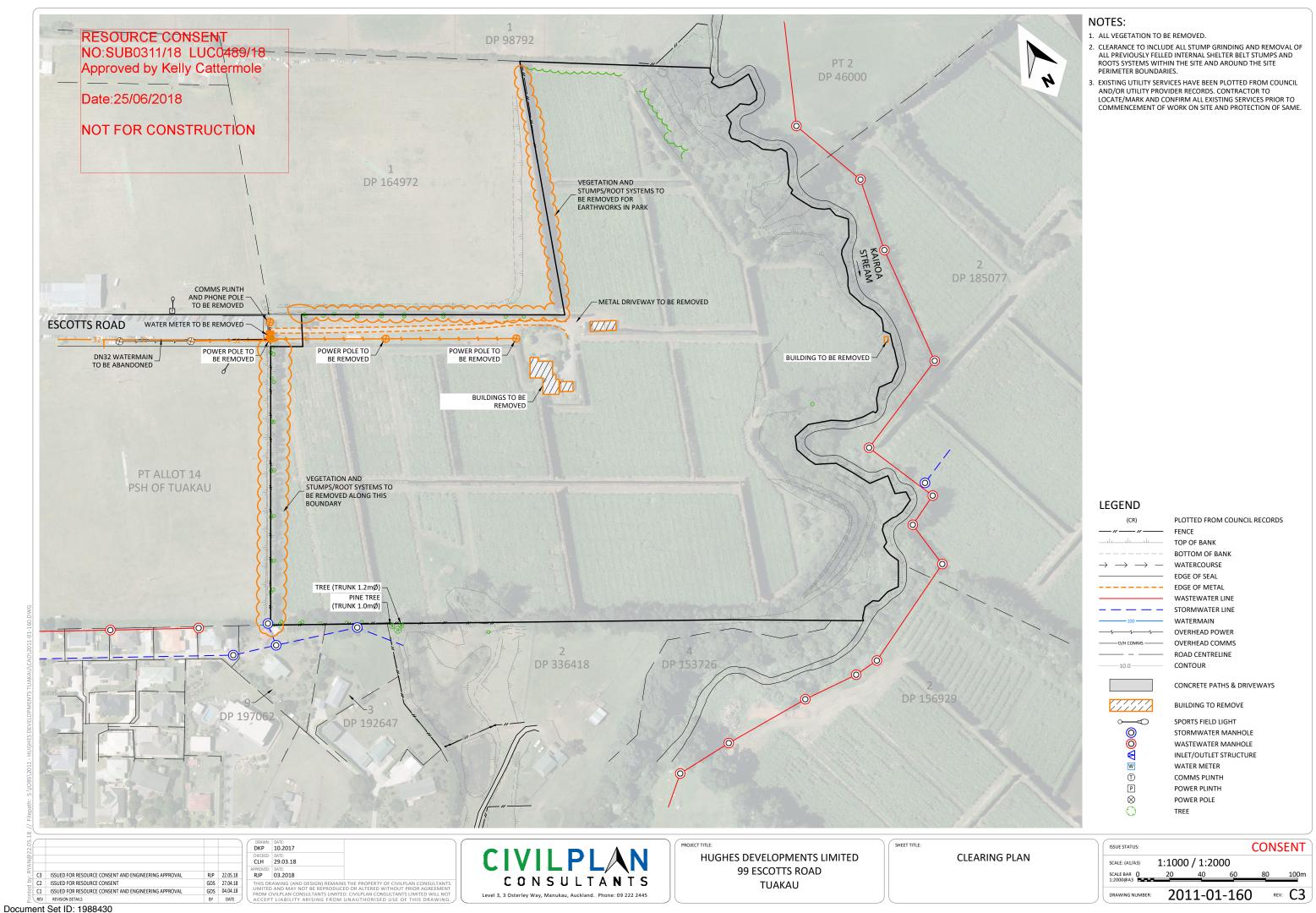


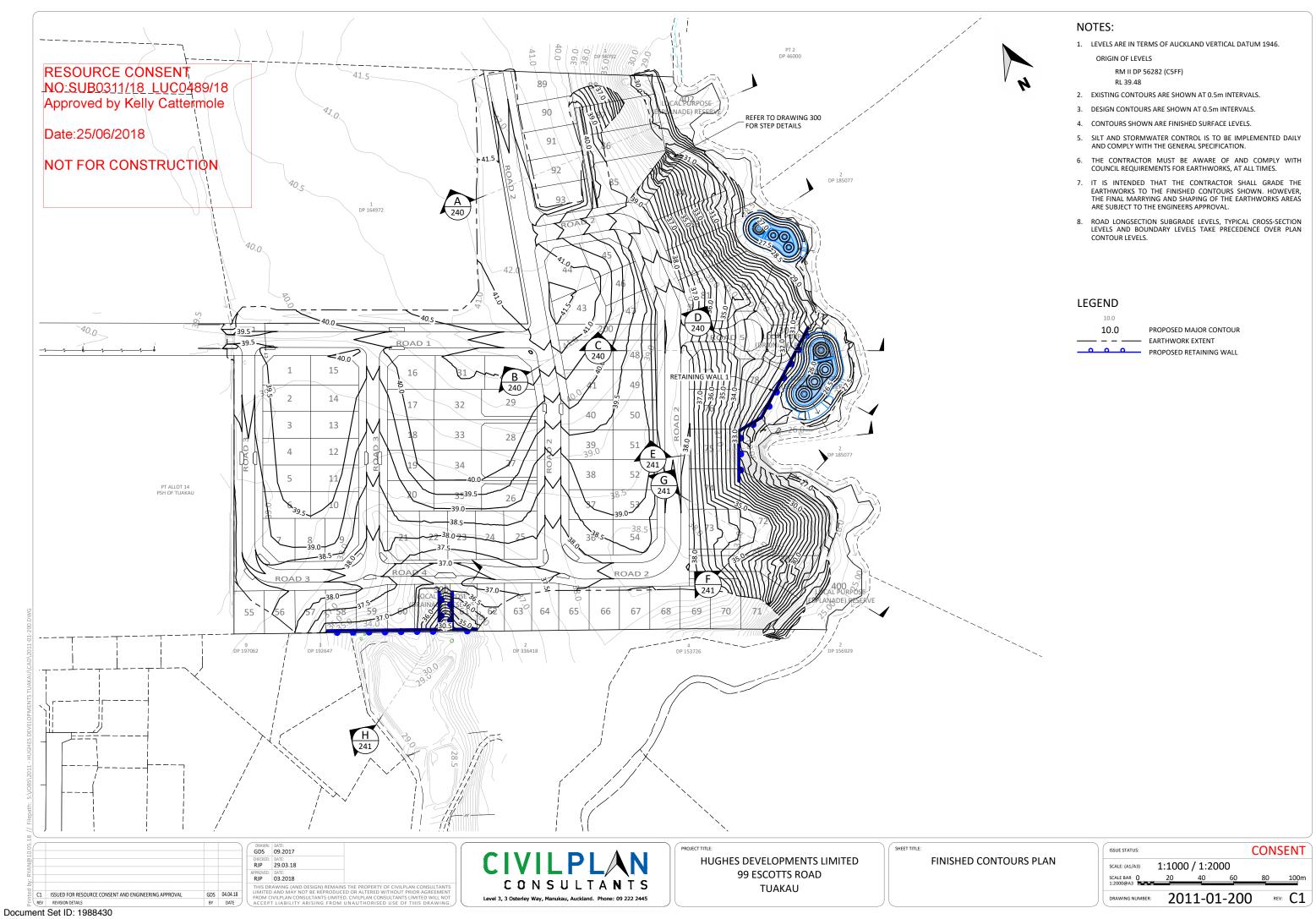


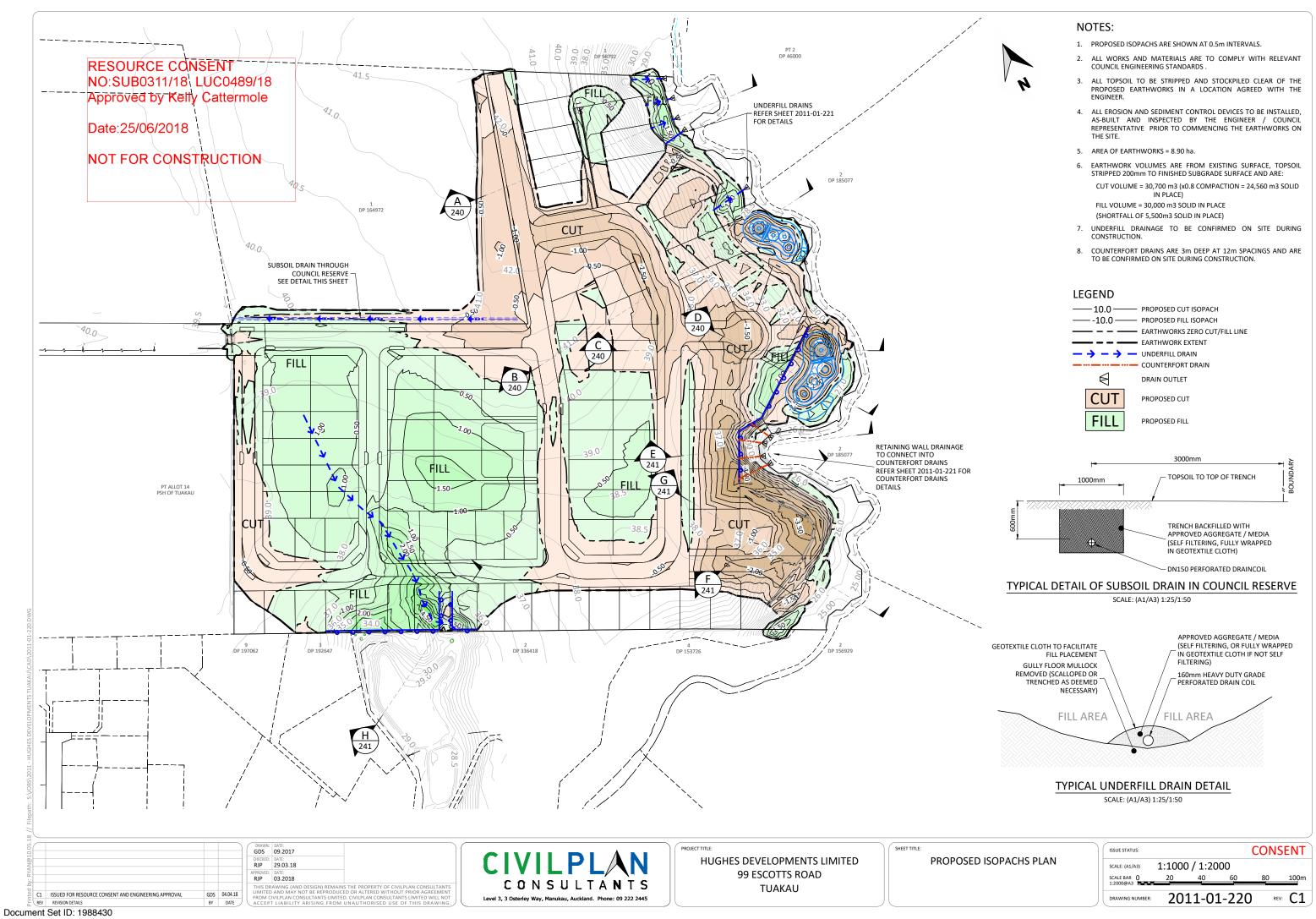
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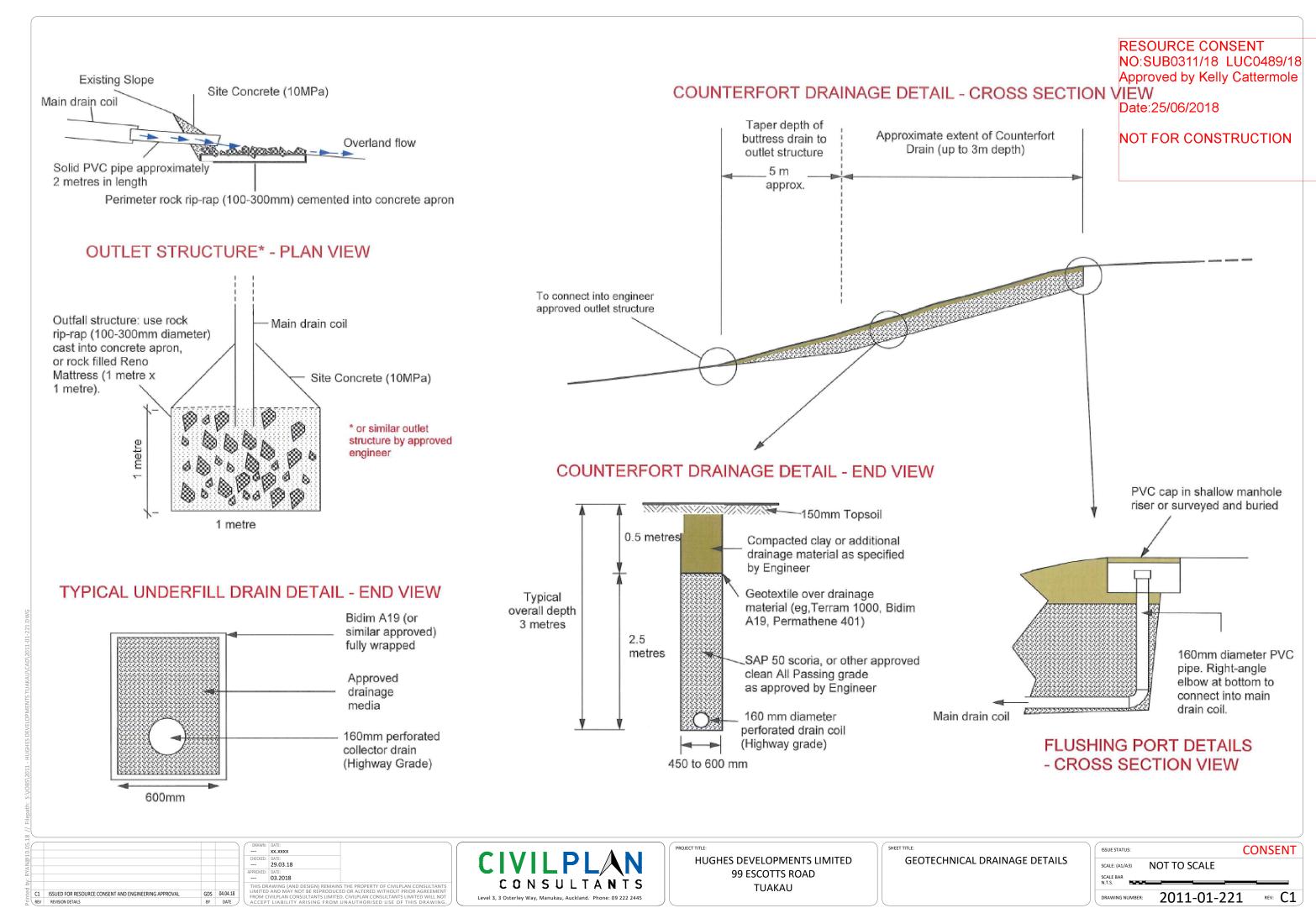


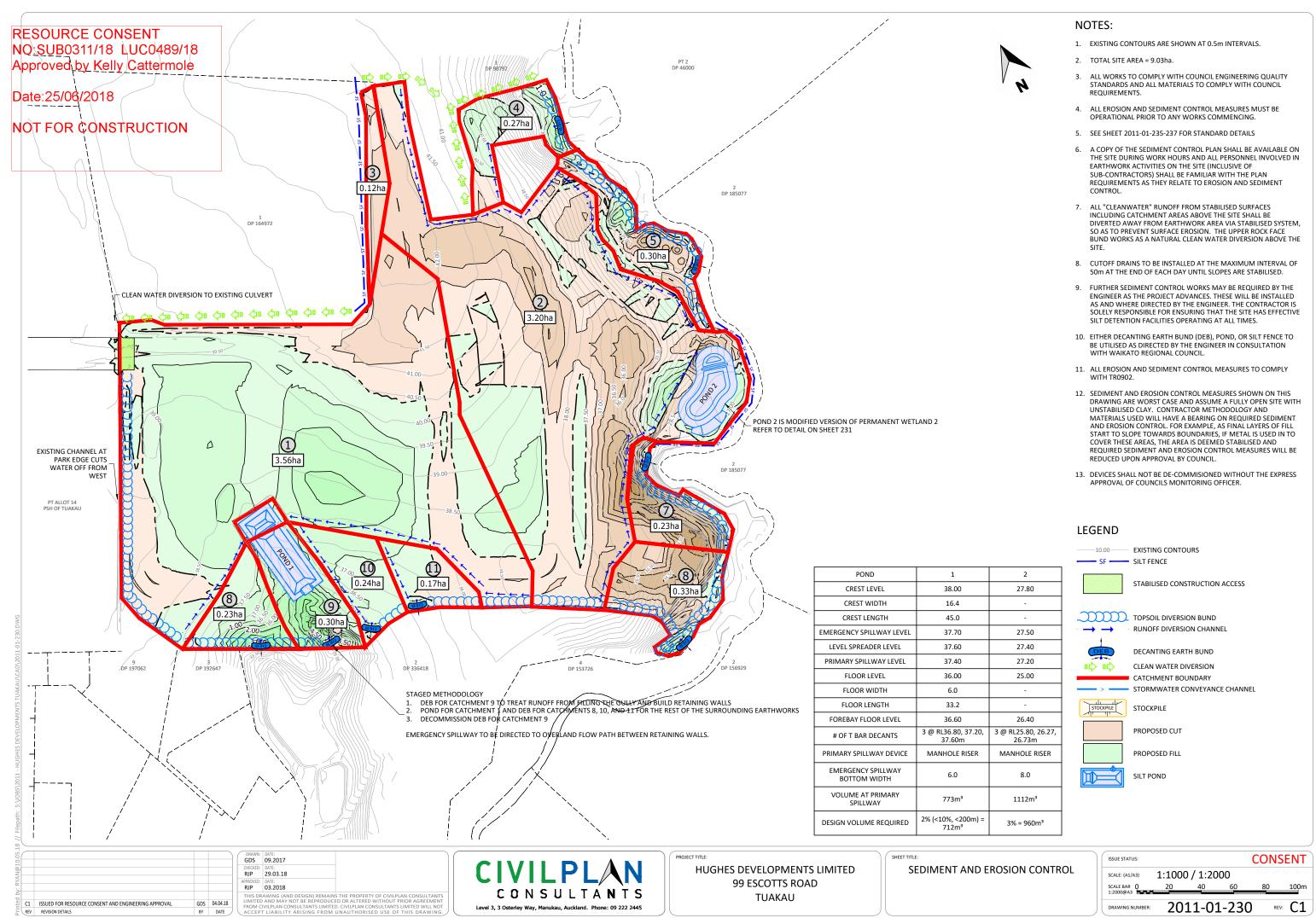
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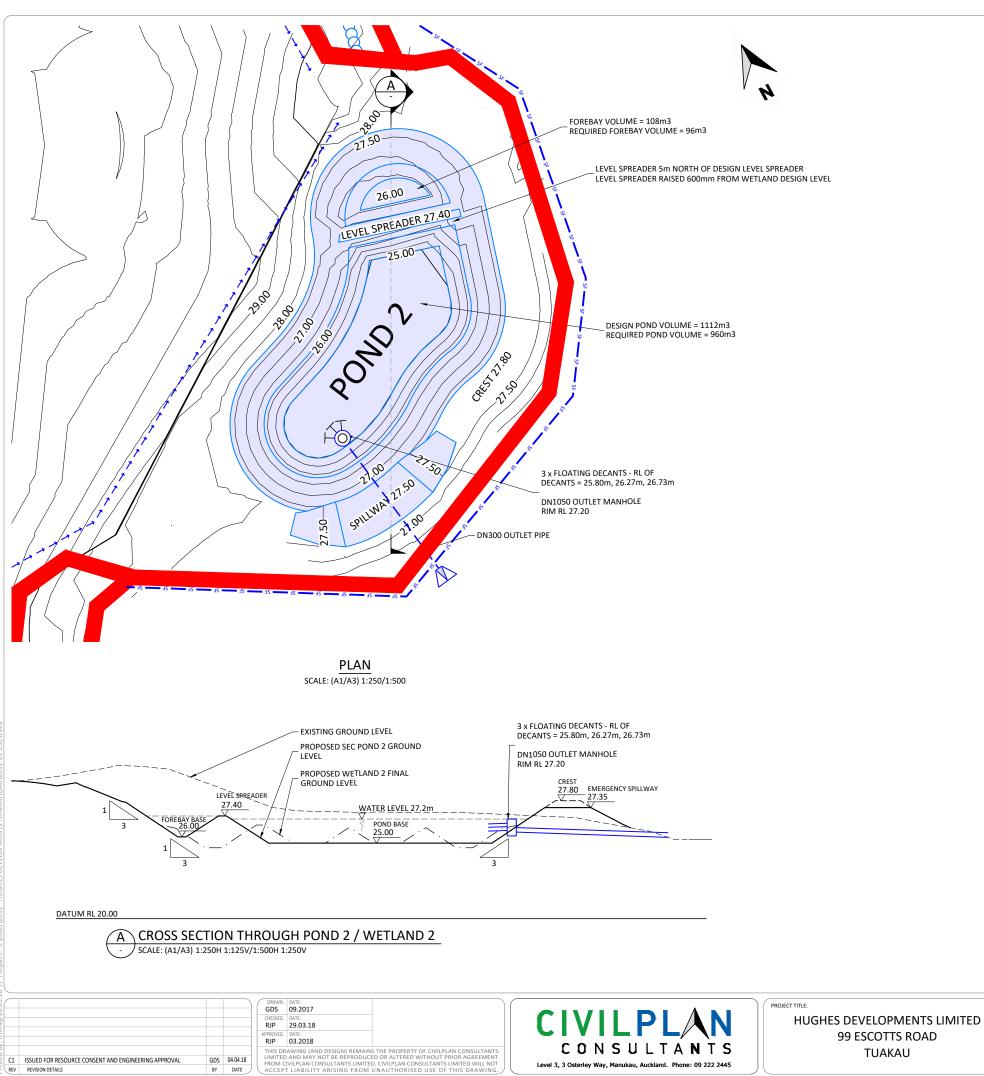












NOTES:

- 1. REFER TO DRAWING 2011-01-230 FOR LEGEND AND NOTES.
- POND IS TO BE MODIFIED INTO WETLAND 2 ONCE EARTHWORKS COMPLETED AND SITE IS STABILISED. REFER TO DRAWING 2011-01-461 FOR DETAIL DRAWING OF WETLAND 2.

RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION

SHEET TITLE:

SEDIMENT AND EROSION CONTROL POND 2 DETAIL

SILT FENCE:

APPLICATION

- ON LOW GRADIENT SITES OR FOR CONFINED AREAS WHERE THE CONTRIBUTING CATCHMENT IS SMALL, SUCH AS SHORT STEEP BATTER FILLS AND AROUND WATERCOURSES.
- TO DELINEATE THE LIMIT OF DISTURBANCE ON AN EARTHWORKS SITE SUCH AS RIPARIAN
- TO STORE RUNOFF BEHIND THE SILT FENCE WITHOUT DAMAGING THE FENCE OR THE SUBMERGED AREA BEHIND THE FENCE.
- DO NOT INSTALL SILT FENCES ACROSS WATERCOURSES OR IN AREAS OF CONCENTRATED

DESIGN

- ENSURE THE SILT FENCE HEIGHT IS A MINIMUM OF 600mm ABOVE GROUND LEVEL.
- PLACE SUPPORTING POSTS/WARATAHS FOR SILT FENCES NO MORE THAN 2m APART UNLESS ADDITIONAL SUPPORT IS PROVIDED BY TENSIONED WIRE (2.5mm HT) ALONG THE TOP OF THE SILT FENCE. WHERE A STRONG WOVEN FABRIC IS USED IN CONJUNCTION WITH A WIRE SUPPORT, THE DISTANCE BETWEEN POSTS CAN BE EXTENDED UP TO 4m. DOUBLE THE SILT FENCE FABRIC OVER AND FASTEN TO THE WIRE AND POSTS WITH WIRE TIES, CLOTH FASTENING CLIPS OR HOG RINGS AT 150mm SPACINGS. ENSURE SUPPORTING POSTS ARE EMBEDDED A MINIMUM OF 400mm INTO THE GROUND.
- ALWAYS INSTALL SILT FENCES ALONG THE CONTOUR. WHERE THIS IS NOT POSSIBLE OR WHERE THERE ARE LONG SECTIONS OF SILT FENCE, INSTALL SHORT SILT FENCE RETURNS PROJECTING UP SLOPE TO MINIMISE CONCENTRATION OF FLOWS. SILT FENCE RETURNS ARE A MINIMUM 2m IN LENGTH, CAN INCORPORATE A TIE BACK AND ARE GENERALLY CONSTRUCTED BY CONTINUING THE SILT FENCE AROUND THE RETURN AND DOUBLING BACK, ELIMINATING JOINS.
- JOIN LENGTHS OF SILT FENCE BY DOUBLING OVER FABRIC ENDS AROUND WOODEN POST OR BATTEN OR BY STAPLING THE FABRIC ENDS TO A BATTEN AND BUTTING THE TWO BATTENS TOGETHER OR BY OVERLAPPING AT LEAST 2m.
- MAXIMUM SLOPE LENGTHS, SPACING OF RETURNS AND ANGLES FOR SILT FENCES ARE SHOWN IN THE TABLE BELOW
- INSTALL SILT FENCE WINGS AT EITHER END OF THE SILT FENCE PROJECTING UPSLOPE TO A SUFFICIENT HEIGHT TO PREVENT OUTFLANKING.
- WHERE IMPOUNDED FLOW MAY OVERTOP THE SILT FENCE, CROSSING NATURAL DEPRESSIONS OR LOW POINTS, MAKE PROVISION FOR A RIPRAP SPLASH PAD OR OTHER OUTLET PROTECTION DEVICE.

MAINTENANCE

- INSPECT SILT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY NECESSARY REPAIRS WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHES 50% OF THE FABRIC HEIGHT
- ANY AREAS OF COLLAPSE, DECOMPOSITION OR INEFFECTIVENESS NEED TO BE IMMEDIATELY
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO CONTINUE TO ALLOW FOR ADEQUATE SEDIMENT STORAGE AND REDUCE PRESSURE ON THE SILT FENCE. ENSURE THAT THE

GEOTEXTILE FIXED FIRMLY TO POST/WARATAH

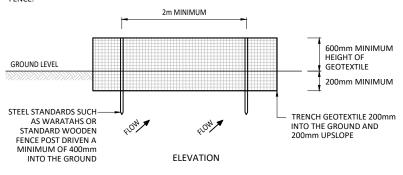
COMPACTED BACKFILL

200mm UPSLOPE

TRENCH GEOTEXTILE 200mm

MINIMUM INTO GROUND AND

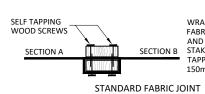
DO NOT REMOVE SILT FENCE MATERIALS AND SEDIMENT DEPOSITION UNTIL THE CATCHMENT AREA HAS BEEN APPROPRIATELY STABILISED. STABILISE THE AREA OF THE REMOVED SILT FENCE.



600mm MINIMUM

POST DEPTH

HEIGHT OF GEOTEXTILE



WRAP BOTH ENDS OF THE FABRIC AROUND ONE STAKE AND CLAMP THE OTHER STAKE TO IT USING SELF TAPPING WOOD SCREWS AT 150mm SPACINGS

ENDS OF RETURNED WIRED BACK TO STAKE OR WARATAH WHERE REQUIRED RETURNS A MINIMUM OF 2 METRES IN LENGTH TO REDUCE VELOCITY ALONG THE SILT FENCE AND PROVIDE INTERMEDIATE IMPOUNDMENT PROVIDE LEAKPROOF JOINT AT THE JUNCTION OF THE RETURN AND MAIN SILT FENCE ALIGNMENT PERSPECTIVE VIEW

SILT FENCE DESIGN CRITERIA:

SLOPE STEEPNESS %	SLOPE LENGTH (m) (MAXIMUM)	SPACING OF RETURNS (m)
< 2%	N/A	UNLIMITED
2-10%	40	60
10-20%	30	50
20-33%	20	40
33-50%	15	30
>50%	6	20

GRAB TENSILE STRENGTH: >440N (ASTM D4632) TENSILE MODULUS: 0.140 pa (MINIMUM) APPARENT OPENING SIZE: 0.1-0.5mm (ASTM D4751)

SILT FENCE CONSTRUCTION



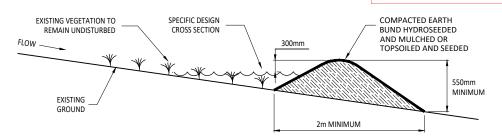
CIVILPLAN HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD CONSULTANTS TUAKAU

NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

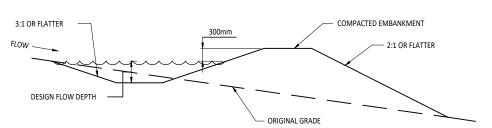
RESOURCE CONSENT

Date: 25/06/2018

NOT FOR CONSTRUCTION



CLEANWATER RUNOFF DIVERSION BUND - CROSS SECTION



RUNOFF DIVERSION BUND - CROSS SECTION

GDS 09.2017 29.03.18 RJP 03.2018 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

MINIMUN

CROSS SECTION

PROPOSED EARTHWORKS SEDIMENT AND EROSION CONTROL STANDARD DETAIL SHEET 1 OF 3

CONSENT ISSUE STATUS NOT TO SCALE SCALE: (A1/A3) 2011-01-235

RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION

STABILISED CONSTRUCTION ENTRANCE:

ΔΡΡΙ ΙΛΑΤΙΩΝ

USE A STABILISED CONSTRUCTION ENTRANCE AT ALL POINTS OF CONSTRUCTION SITE INGRESS AND EGRESS WITH A CONSTRUCTION PLAN LIMITING TRAFFIC TO THESE ENTRANCES ONLY.

DESIGN

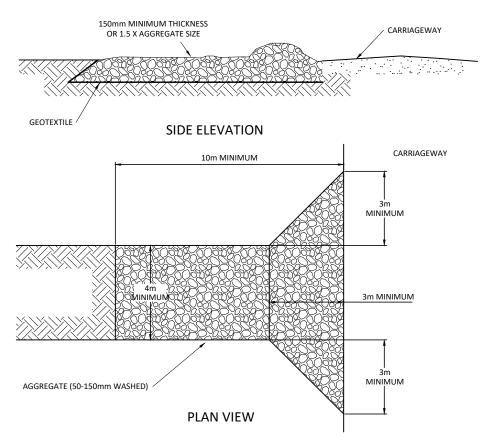
- CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS AND OTHER UNSUITABLE MATERIAL AND PROPERLY GRADE IT.
- LAY WOVEN GEOTEXTILE; PIN DOWN EDGES AND OVERLAP JOINTS.
- PROVIDE DRAINAGE TO CARRY RUNOFF FROM THE STABILISED CONSTRUCTION ENTRANCE TO A SEDIMENT CONTROL MEASURE.
- PLACE AGGREGATE TO THE SPECIFICATIONS BELOW AND SMOOTH IT.

STABILISED CONSTRUCTION ENTRANCE AGGREGATE SPECIFICATIONS:

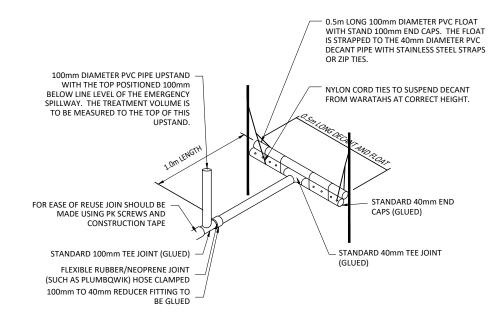
AGGREGATE SIZE	50-150mm WASHED AGGREGATE
THICKNESS	150mm MINIMUM OR 1.5 X AGGREGATE SIZE
LENGTH	10m MINIMUM LENGTH RECOMMENDED
WIDTH	4m MINIMUM WIDTH

MAINTENANCE

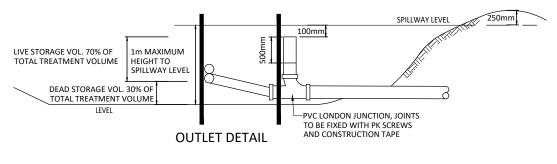
- MAINTAIN THE STABILISED CONSTRUCTION ENTRANCE IN A
 CONDITION TO PREVENT SEDIMENT FROM LEAVING THE
 CONSTRUCTION SITE. AFTER EACH RAINFALL INSPECT ANY STRUCTURE
 USED TO TRAP SEDIMENT FROM THE STABILISED CONSTRUCTION
 ENTRANCE AND CLEAN OUT AS NECESSARY.
- WHEN WHEEL WASHING IS ALSO REQUIRED, ENSURE THIS IS DONE ON AN AREA STABILISED WITH AGGREGATE WHICH DRAINS TO AN APPROVED SEDIMENT RETENTION FACILITY.

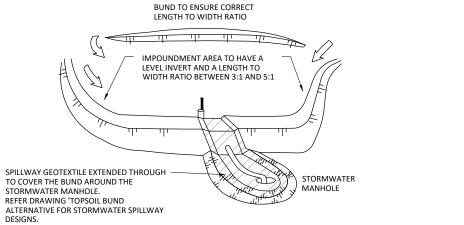


STABILISED CONSTRUCTION ENTRANCE



40mm DECANT WITH UPSTAND DETAIL





DECANTING EARTH BUND

DECANTING EARTH BUND SIZING

MAXIMUM CATCHMENT 0.3ha
2% VOLUME (60m3 PER 0.3ha
CATCHMENT)

C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL GDS 04.04.18

BY DATE

DRAWN: DATE:
GDS 09.2017

CHECKED: DATE:
RJP 29.03.18

APPROVED: DATE:
RJP 32.2018

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HUGHES DEVELOPMENTS LIMITED
99 ESCOTTS ROAD
TUAKAU

PROPOSED EARTHWORKS
SEDIMENT AND EROSION CONTROL
STANDARD DETAIL SHEET 2 OF 3

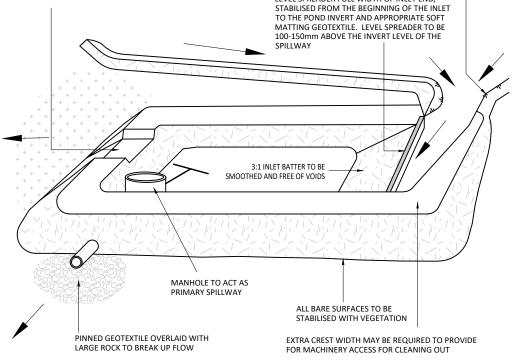
ISSUE STATUS: CONSENT

SCALE: (A1/A3) NOT TO SCALE

SCALE BAR
N.T.S.

DRAWING NUMBER: 2011-01-236 REV: C1

RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole RUNOFF DIVERSION CHANNEL/BUND TO ENSURE ALL FLOW ENTERS AT THE INLET END EMERGENCY SPILLWAY IS TO BE WIDE, SHALLOW AND LEVEL. WHERE POSSIBLE OVER THE EXISTING GROUND RETAINING THE Date: 25/06/2018 EXISTING GRASS COVER. BARE AREAS TO BE STABILISED WITH CONCRETE OR SIMILAR LEVEL SPREADER FULL WIDTH OF INLET END, NOT FOR CONSTRUCTION STABILISED FROM THE BEGINNING OF THE INLET TO THE POND INVERT AND APPROPRIATE SOFT MATTING GEOTEXTILE. LEVEL SPREADER TO BE

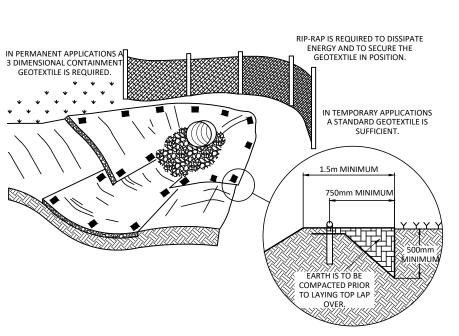


POURED CONCRETE ANTI-SEEP COLLAR OUTLET 100mm THICK 20 MPa CONCRETE COLLAR **ANTI-SEEP COLLAR**

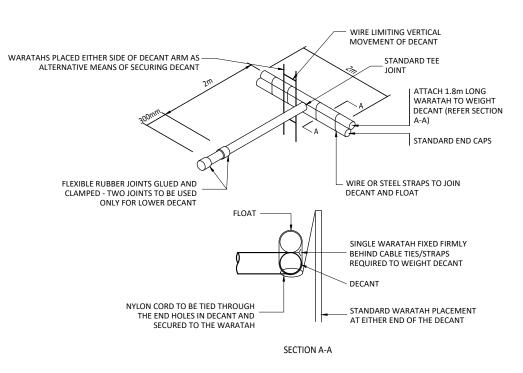
MINIMUM FREEBOARD 300mm UPPER DECANTS EXTENT OF WIDTH OF TOP EMBANKMENT SHOULD BE WIDE TRAVEL IS OVER 50% OF THE LIVE STORAGE DEPTH ENOUGH TO ENSURE MACHINERY ACCESS FOR DE-SLUDGING OF POND, IF THERE ARE NO OTHER REFER DECANT DETAIL **ACCESS POINTS AVAILABLE** 60° Y JUNCTION LOWER DECANTS EXTENT OF TRAVEL IS OVER 100% OF THE Omm DIAMETER RISER REQUIRED FOR POND SPILLWAY COMPACTED AND SMOOTHED TO LIVE STORAGE DEPTH VARIABLE ELIMINATE ALL VOIDS PRIOR TO LAYING AND UP TO 1500mm PINNING APPROPRIATE GEOTEXTILE/CONCRETE CATCHMENT 1.5 TO 3.0 POND BATTERS 2:1 OR 3:1 500mm DEAD DISCHARGE PIPE SIZE STORAGE UP TO 1.5 ha. CATCHMENT - 100mm 1.5 TO 3.0 ha. CATCHMENT - 150mm WARATAH STAKE 3.0 TO 5.0 ha. CATCHMENT - 300mm LAID AT 1 OR 2% GRADIENT 2 x RUBBER COUPLINGS TO PROVIDE ADDITIONAL RANGE 150-100mm REDUCTION

> TYPICAL CROSS SECTION 1.5 - 3.0Ha CATCHMENT

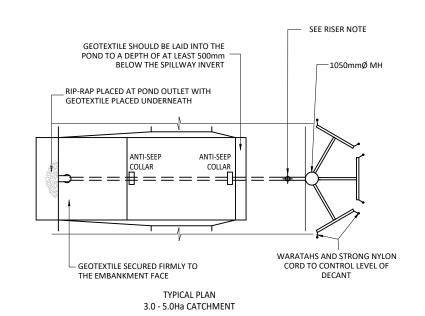
SEDIMENT RETENTION POND



GEOTEXTILE AT CULVERT OUTLET



SEDIMENT RETENTION POND - DECANT DETAIL



SEDIMENT RETENTION POND - EMBANKMENT DETAIL

NUMBER OF DECANTS FOR EACH POND SHALL BE AS FOLLOWS:

- UP TO 1.5ha CATCHMENT 1 DECANT
- 1.5 3.0ha CATCHMENT 2 DECANTS
 3.0 5.0 ha CATCHMENT 3 DECANTS CONNECTED TO DN1050 MH

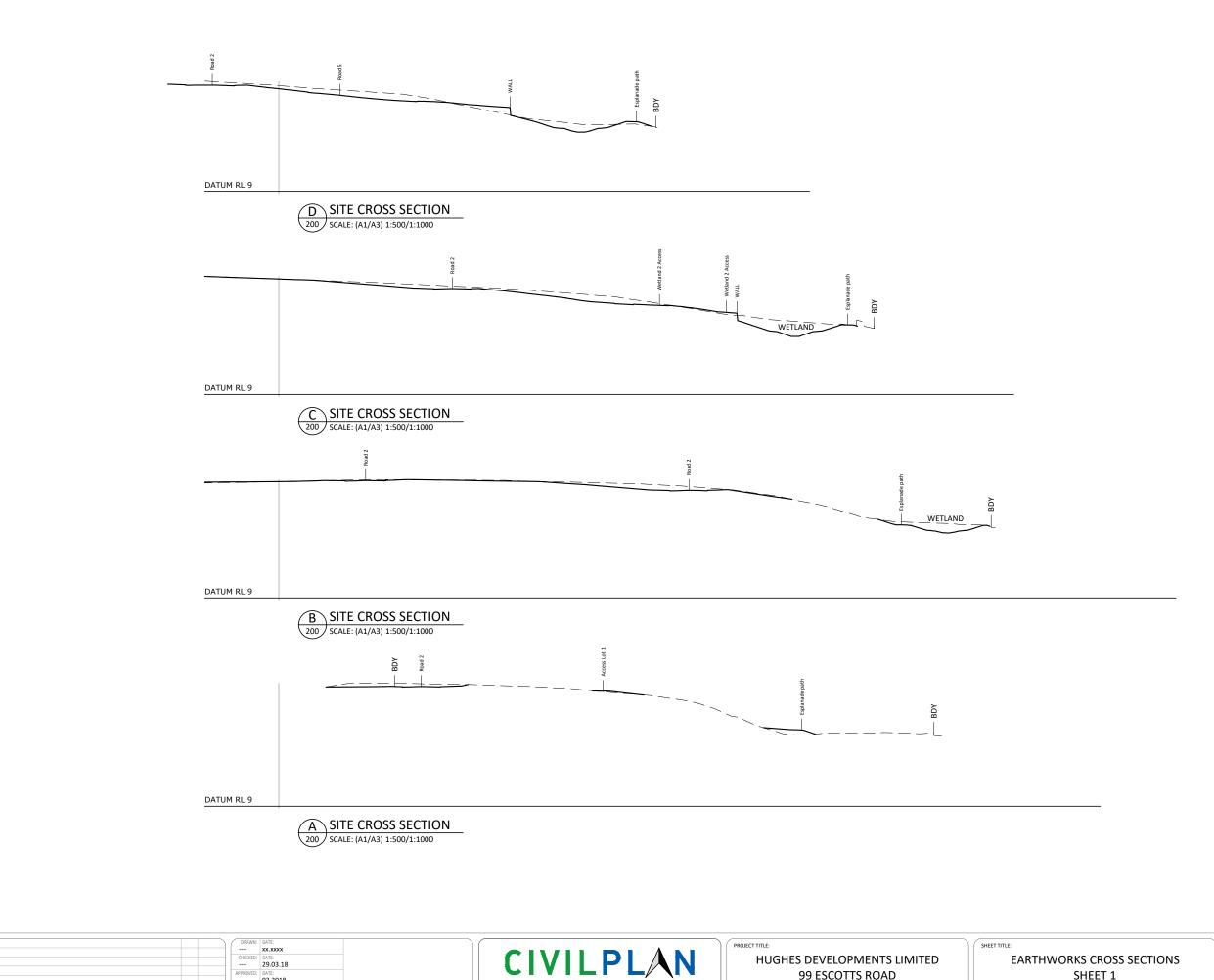


CIVILPLAN CONSULTANTS

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED EARTHWORKS SEDIMENT AND EROSION CONTROL STANDARD DETAIL SHEET 3 OF 3

CONSENT ISSUE STATUS NOT TO SCALE SCALE: (A1/A3) 2011-01-237



CONSULTANTS

LEGEND — — — — EXISTING GROUND LINE PROPOSED GROUND LINE

RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION

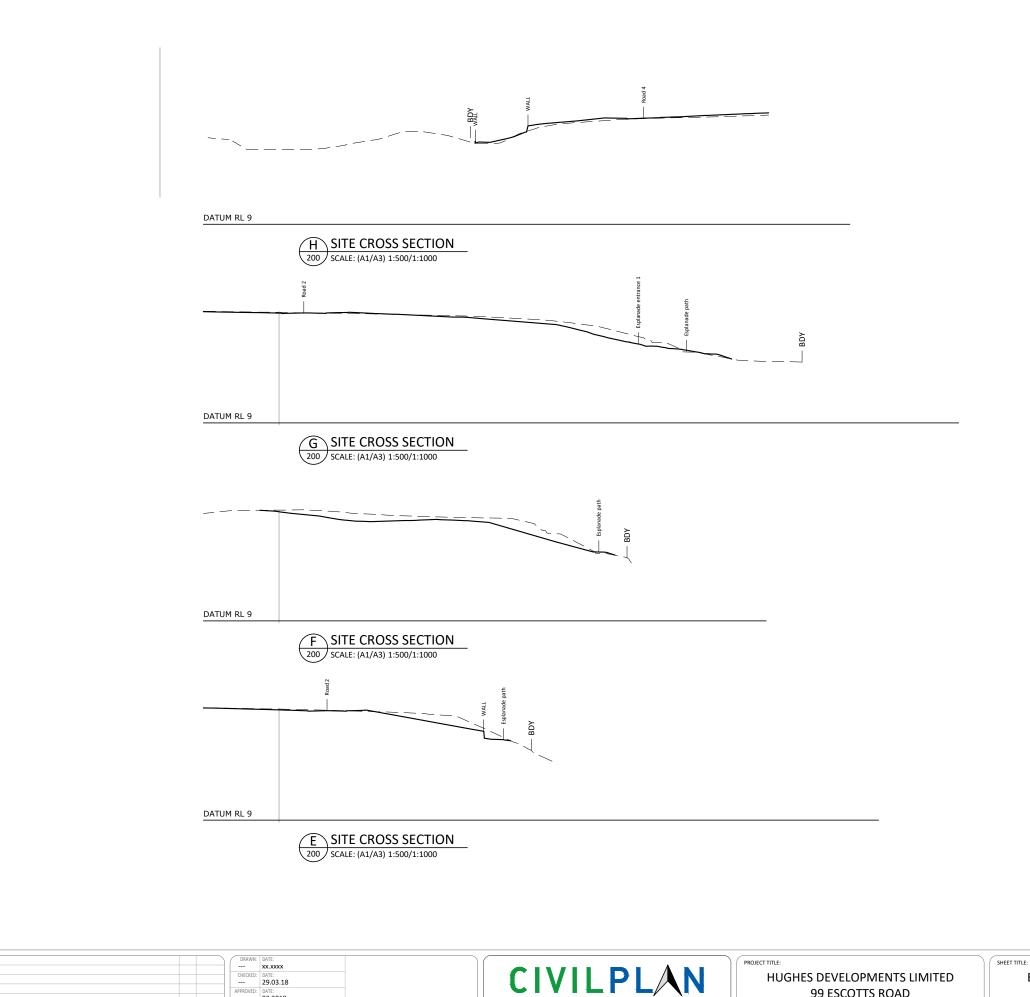
EARTHWORKS CROSS SECTIONS SHEET 1

99 ESCOTTS ROAD

TUAKAU

CONSENT ISSUE STATUS: 1:500 / 1:1000 SCALE: (A1/A3) 2011-01-240

03.2018



CONSULTANTS

LEGEND — — — — EXISTING GROUND LINE PROPOSED GROUND LINE RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date: 25/06/2018

NOT FOR CONSTRUCTION

EARTHWORKS CROSS SECTIONS SHEET 2

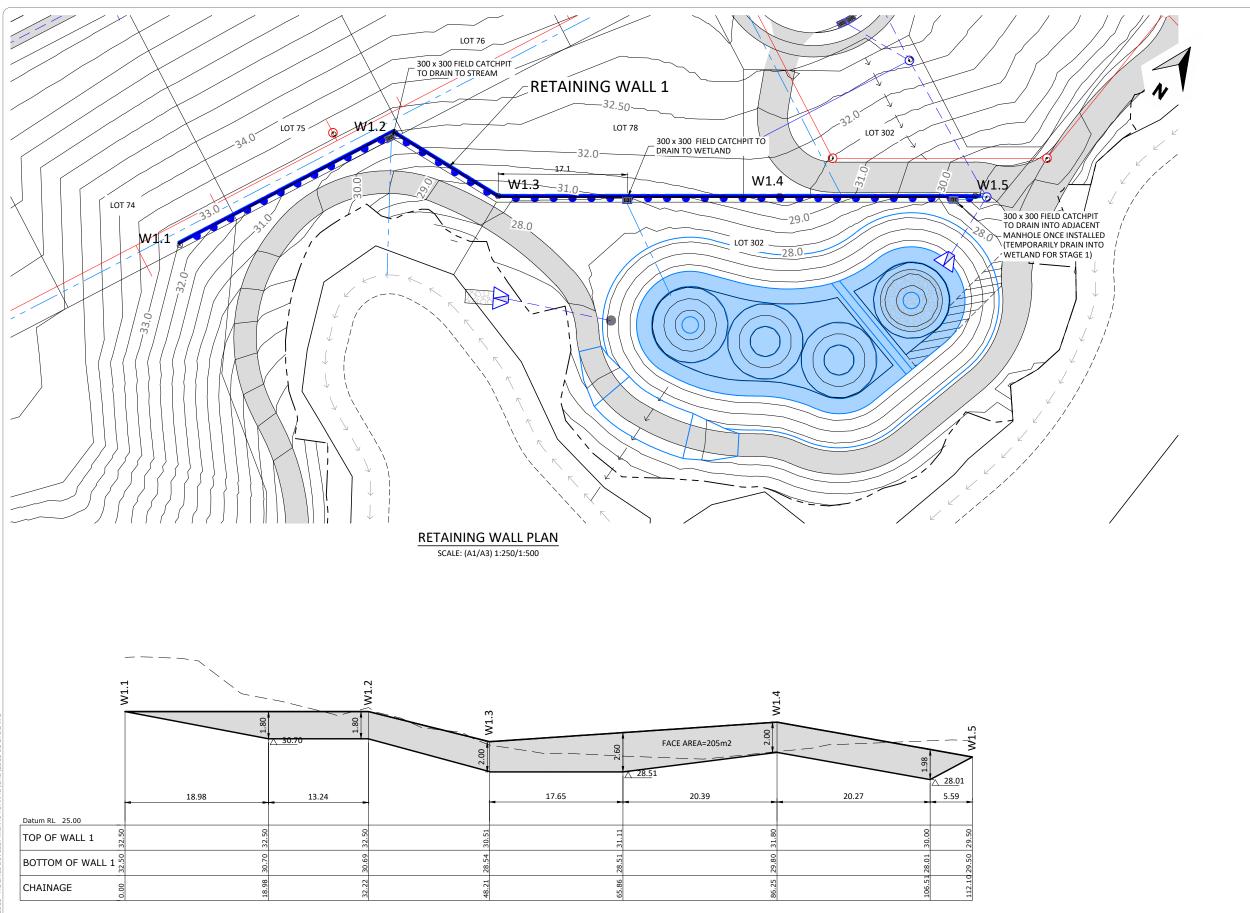
99 ESCOTTS ROAD

TUAKAU

CONSENT ISSUE STATUS: 1:500 / 1:1000 SCALE: (A1/A3) 2011-01-241

C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
REV REVISION DETAILS Document Set ID: 1988430 Version: 1, Version Date: 26/06/2018

03.2018



RETAINING WALL 1 LONGITUDINAL SECTION

SCALE: (A1/A3) 1:250H 1:125V / 1:500H 1:250V

BUILDING CONSENT REQUIRED FOR WALLS

C3 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

C2 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

C3 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

C4 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

C5 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

C6 D5 09.2017

CHICKED: DATE:

C9 09.2017

APPROVED: DATE:

RIP 03.2018

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CONSULTANTS
Level 3, 3 Osterley Way, Manukau, Auckland. Phone: 09 222 2445

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU RETAINING WALL PLAN AND ELEVATION SHEET 1 | ISSUE STATUS: CONSENT | SCALE: (A1/A3) | 1:250 / 1:500 | SCALE BAR | 0 | 5 | 10 | 15 | 20 | 25 m | CAWING NUMBER: | 2011-01-270 | REV: | C3

LEGEND

NOTES

PROPOSED MAJOR CONTOUR

TOPS OF WALLS TO BE FENCED OFF TEMPORARILY UNTIL

PERMANENT FENCING TO BE TYPICAL WIRE FENCE DETAIL B TO HCC ITS D3.8.17, ON TOP OF RETAINING WALLS, INCLUDING 300mm WIDE, 100mm THICK 20MPa MOWING

4. REFER TO LANDER GEOTECHNICAL WALL DESIGN REPORT J00779 DATED 9 MAY 2018, AND DRAWINGS SHOWN ON 2011-01-272-277 FOR DETAILED WALL DESIGNS.

5. ALL WALLS TO HAVE 300mm WIDE, 100mm THICK 20MPA MOWING STRIP AT THE BASE OF THE RAILS AND POSTS FOR THE ENTIRE LENGTH.

RESOURCE CONSENT

Date: 25/06/2018

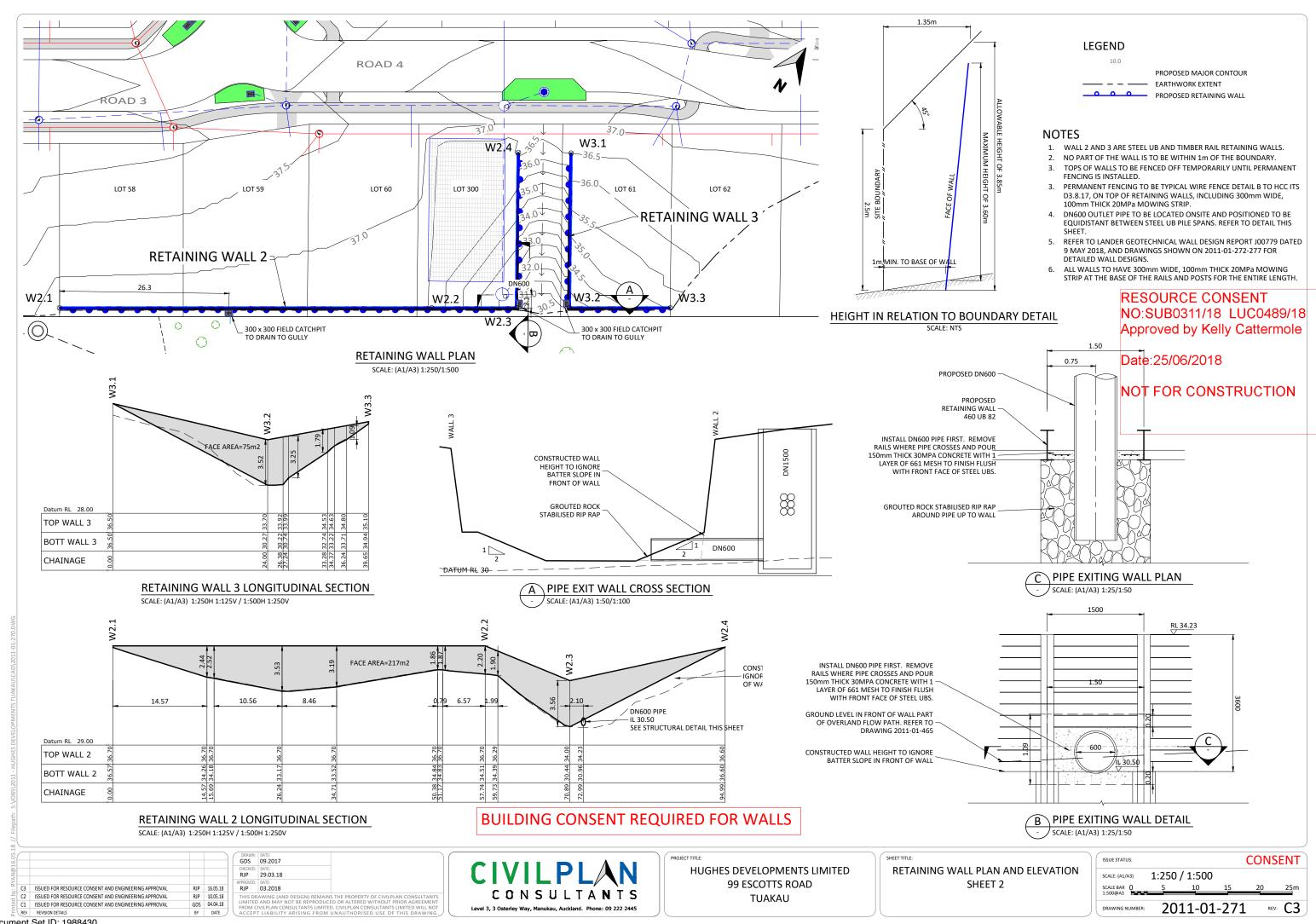
NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

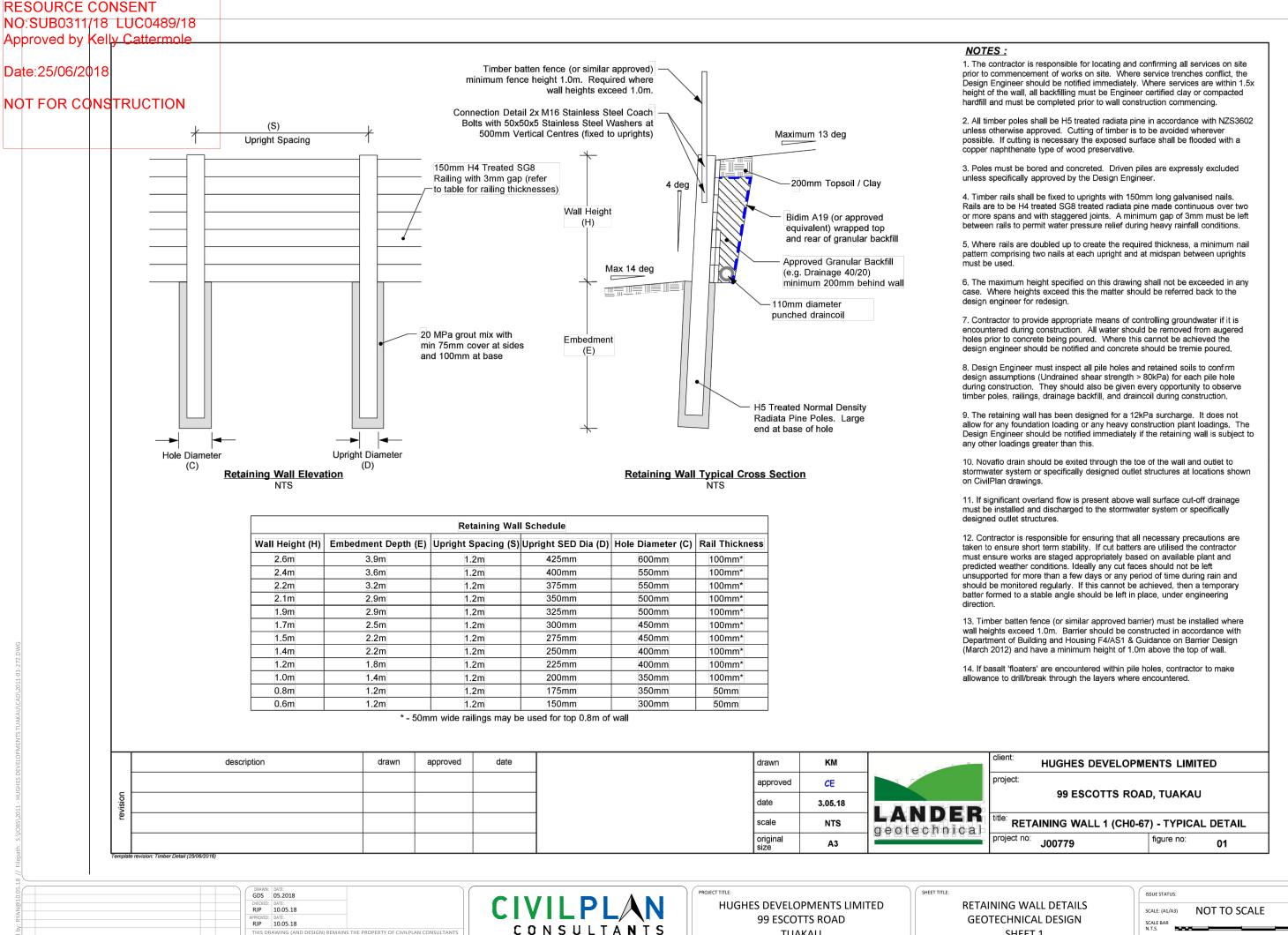
NOT FOR CONSTRUCTION

EARTHWORK EXTENTPROPOSED RETAINING WALL

1. WALL 1 IS A TIMBER POST RETAINING WALL.

PERMANENT FENCING IS INSTALLED.





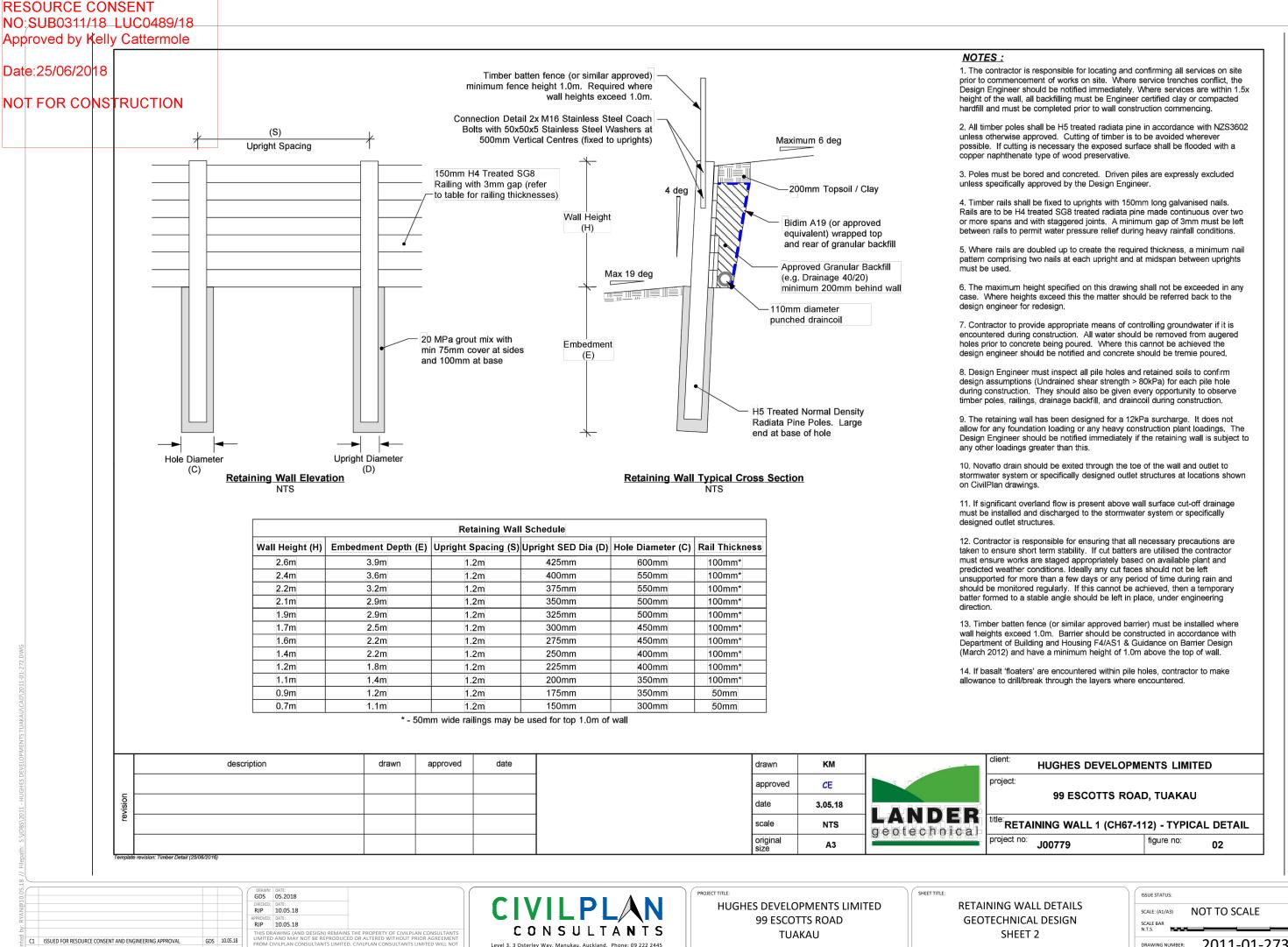
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C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

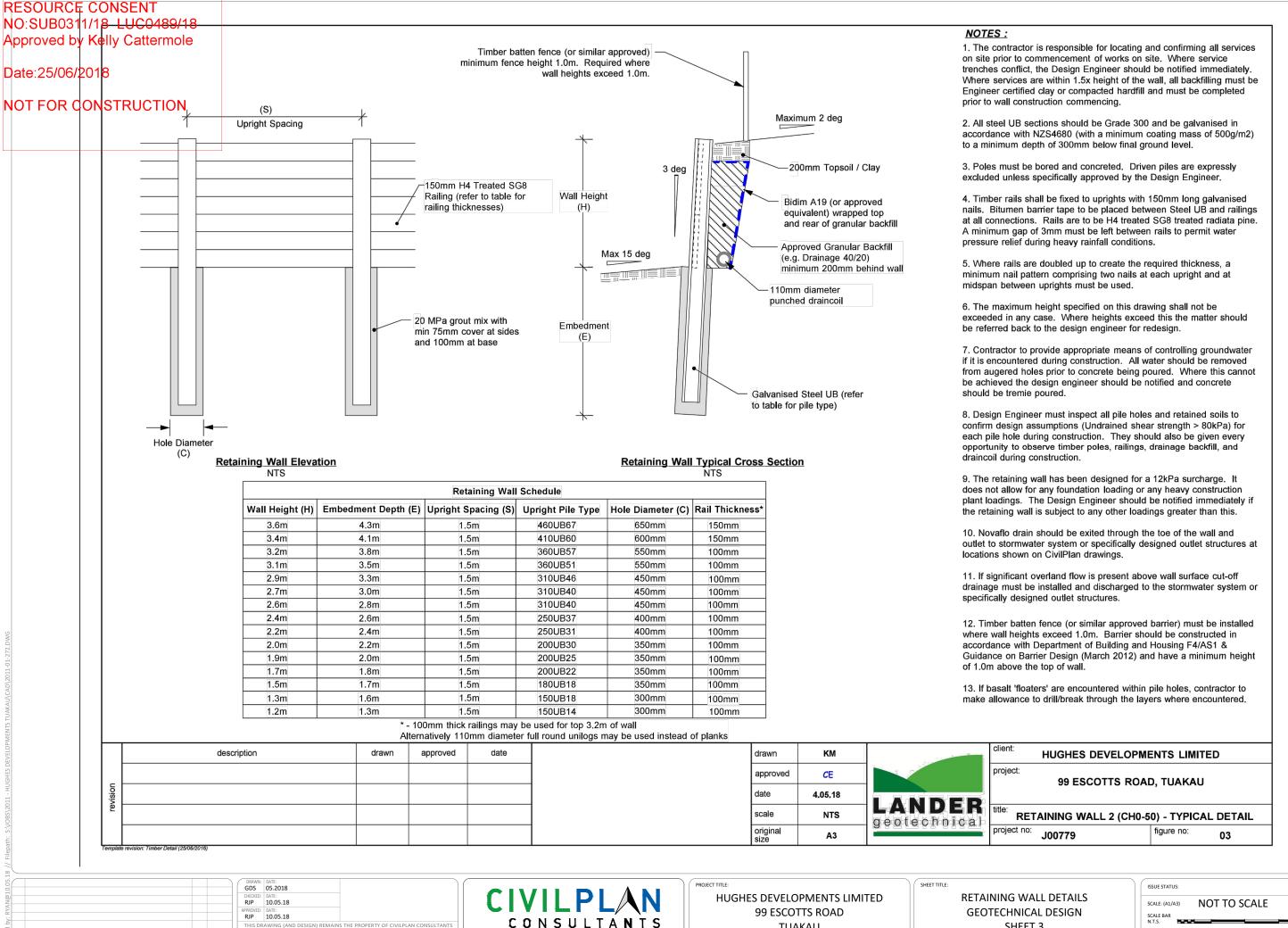
GDS 10.05.18

TUAKAU

SHEET 1



Document Set ID: 1988430 Version: 1, Version Date: 26/06/2018



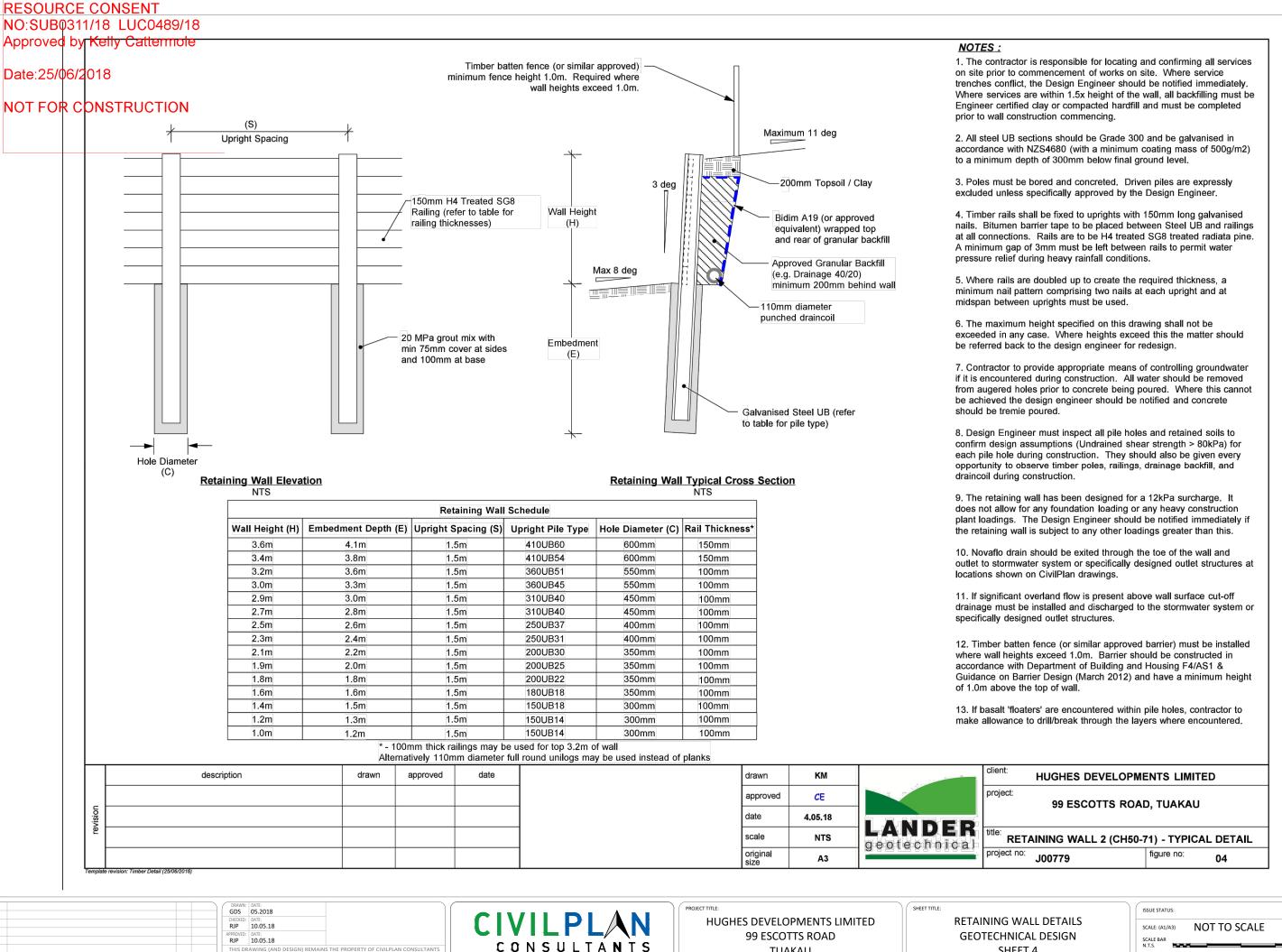
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C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

GDS 10.05.18

TUAKAU

SHEET 3



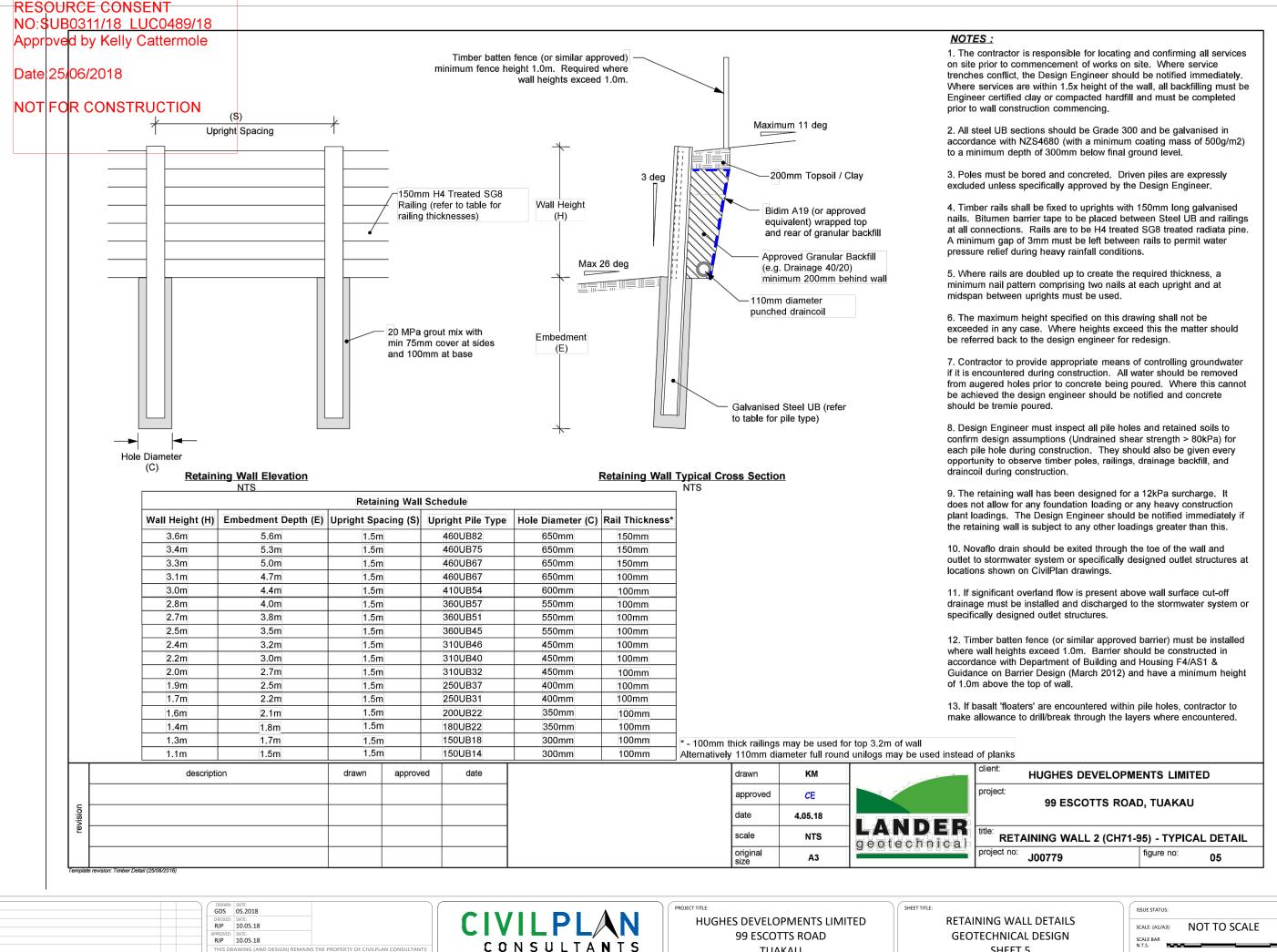
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C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

GDS 10.05.18

TUAKAU

SHEET 4



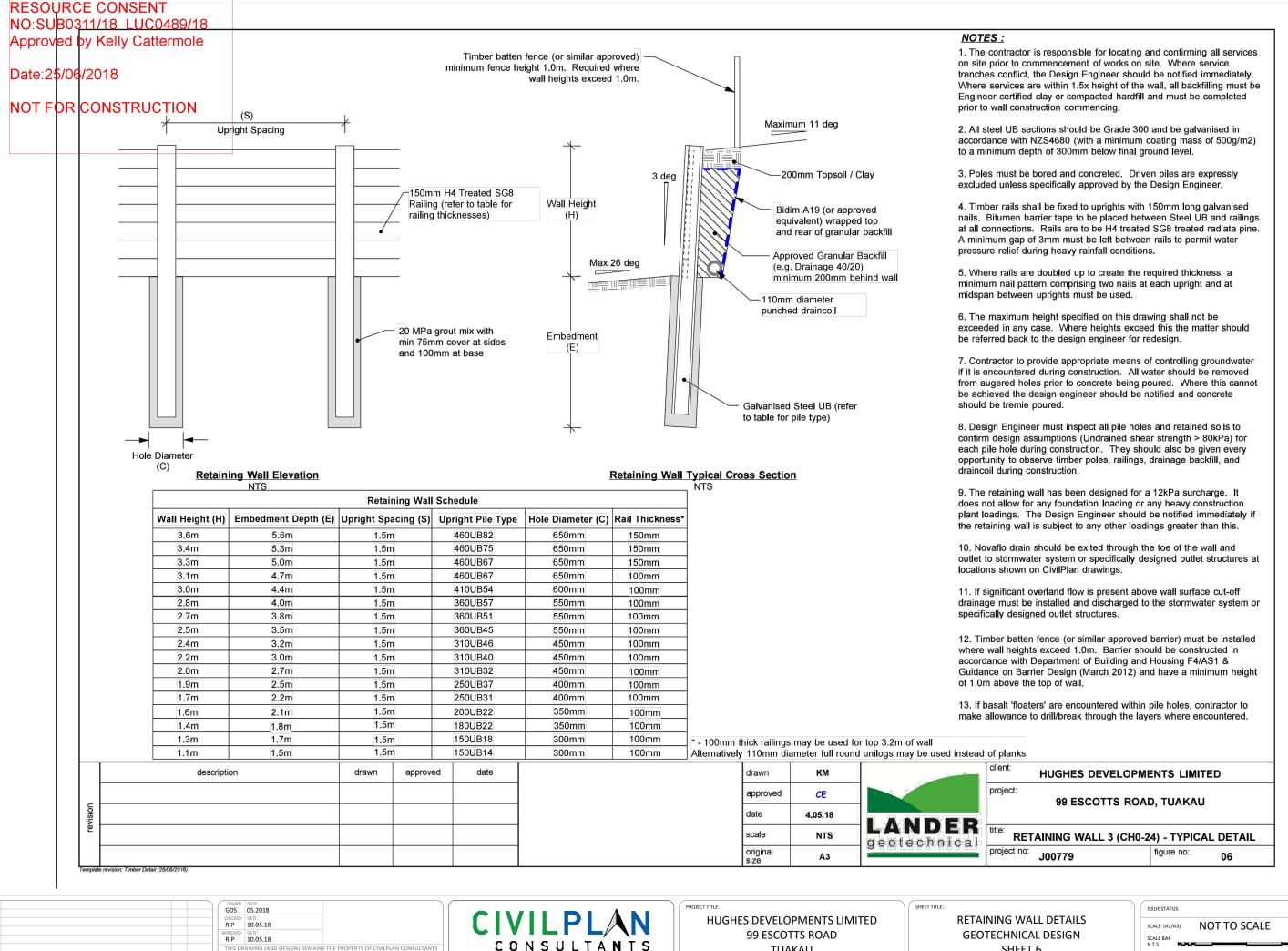
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C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

GDS 10.05.18

TUAKAU

SHEET 5



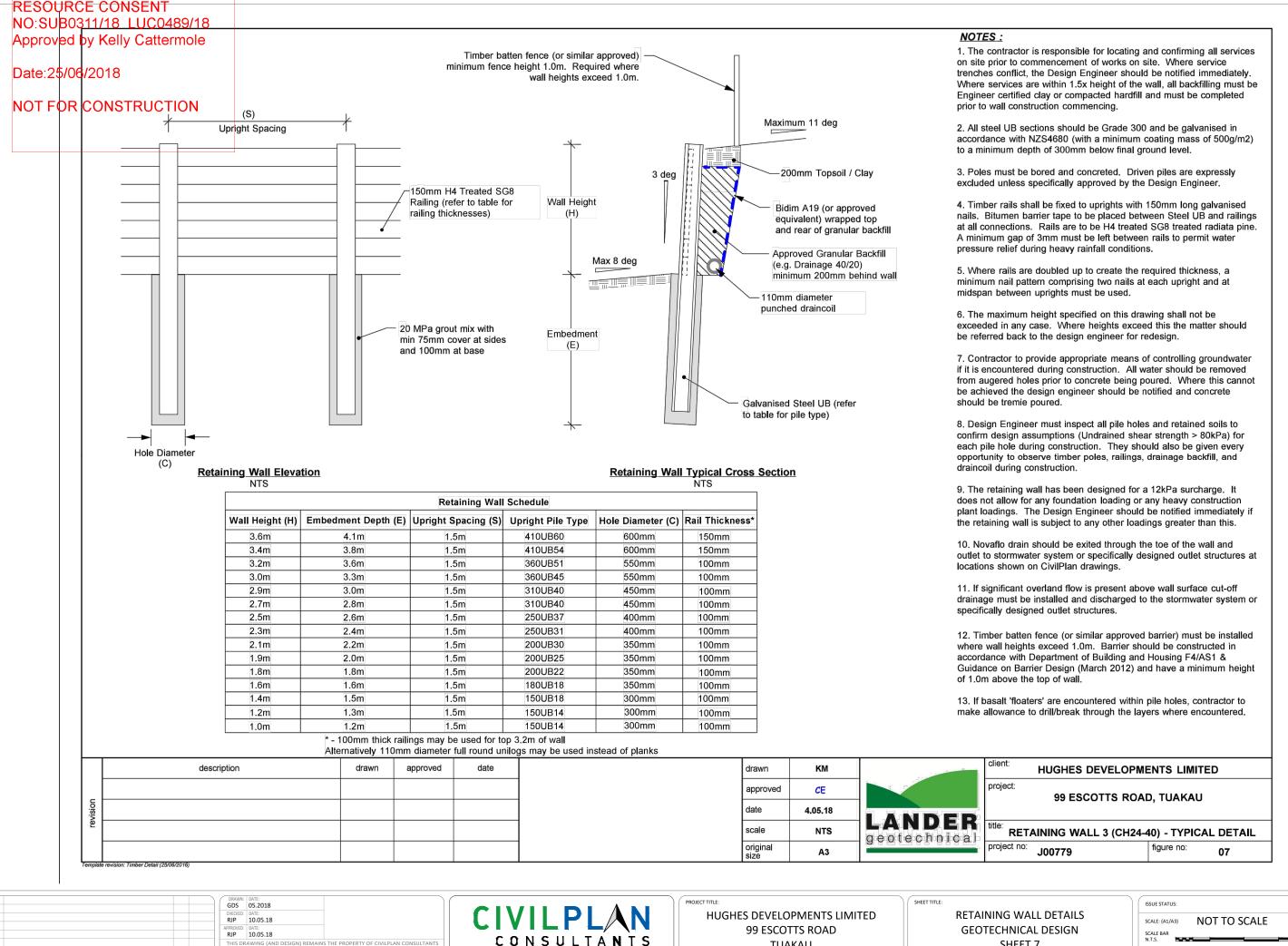
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C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

GDS 10.05.18

TUAKAU

SHEET 6



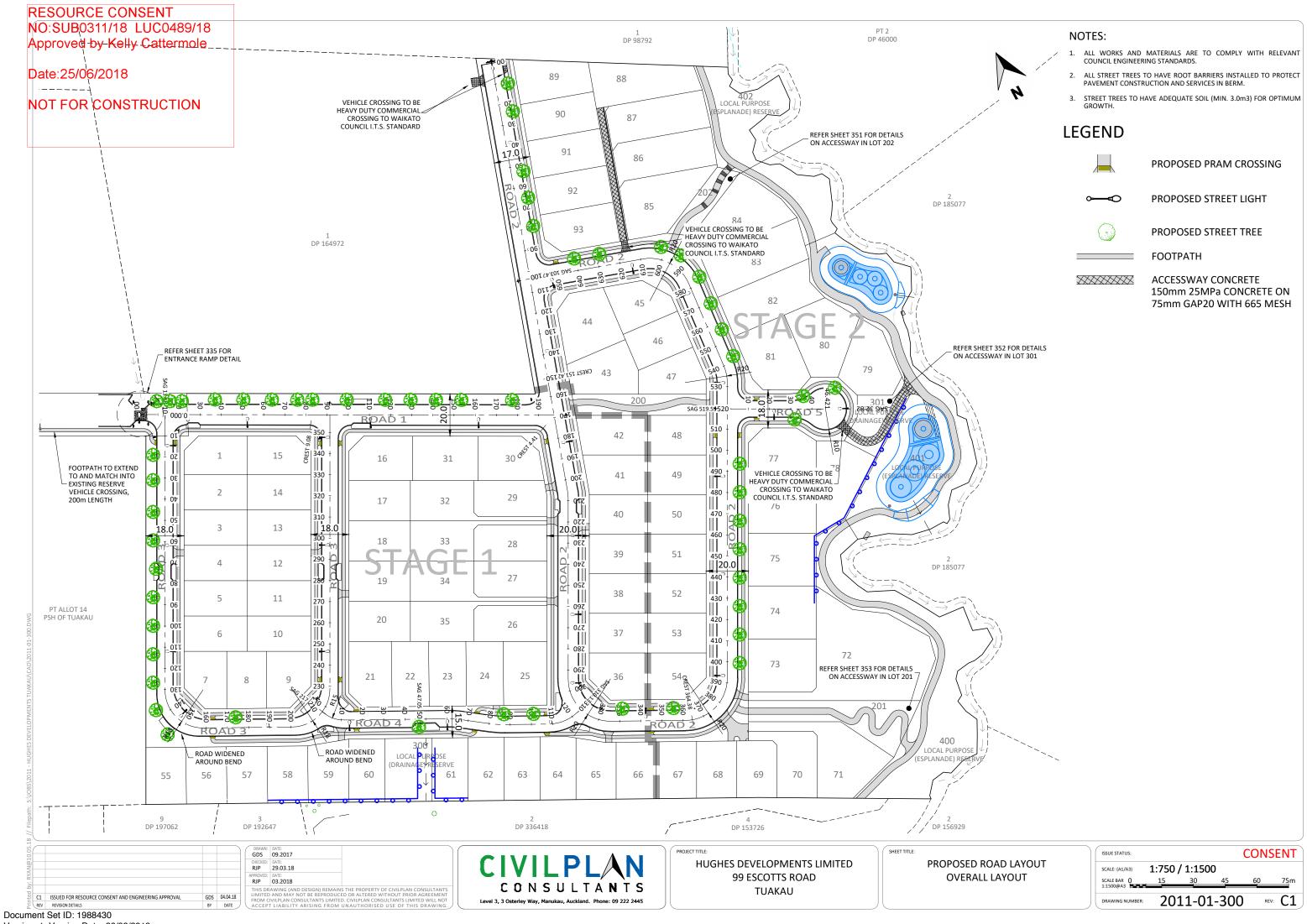
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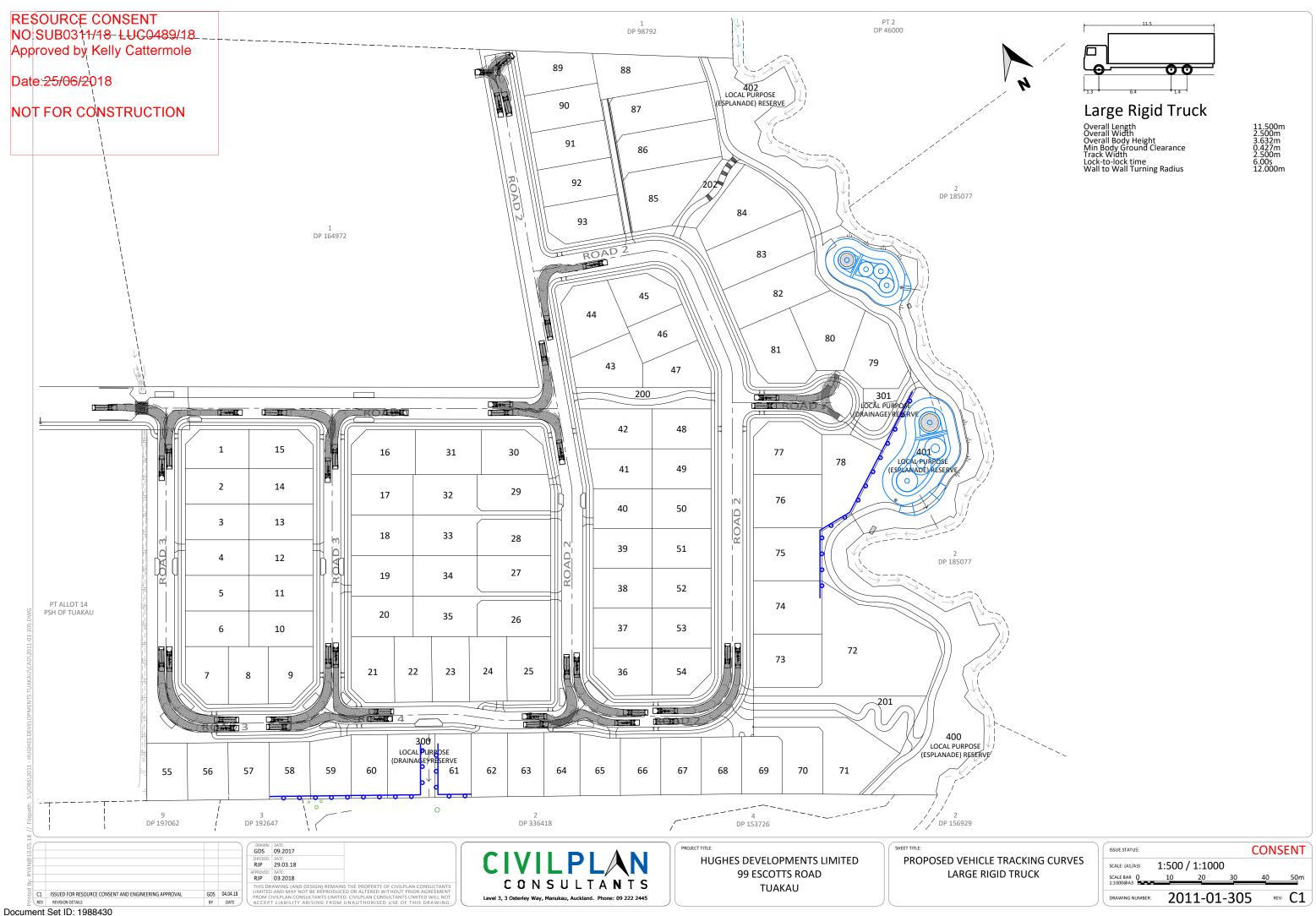
C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

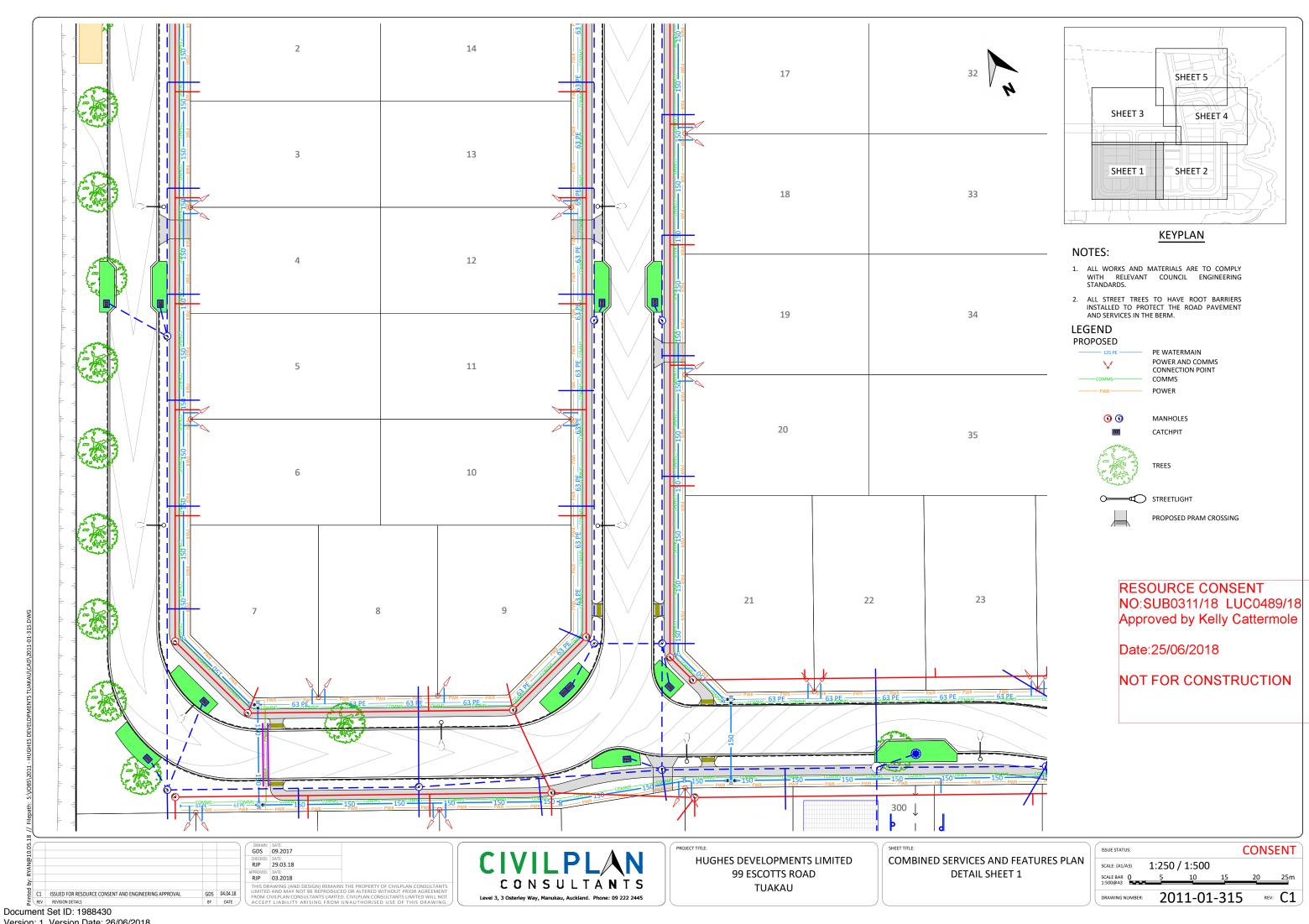
GDS 10.05.18

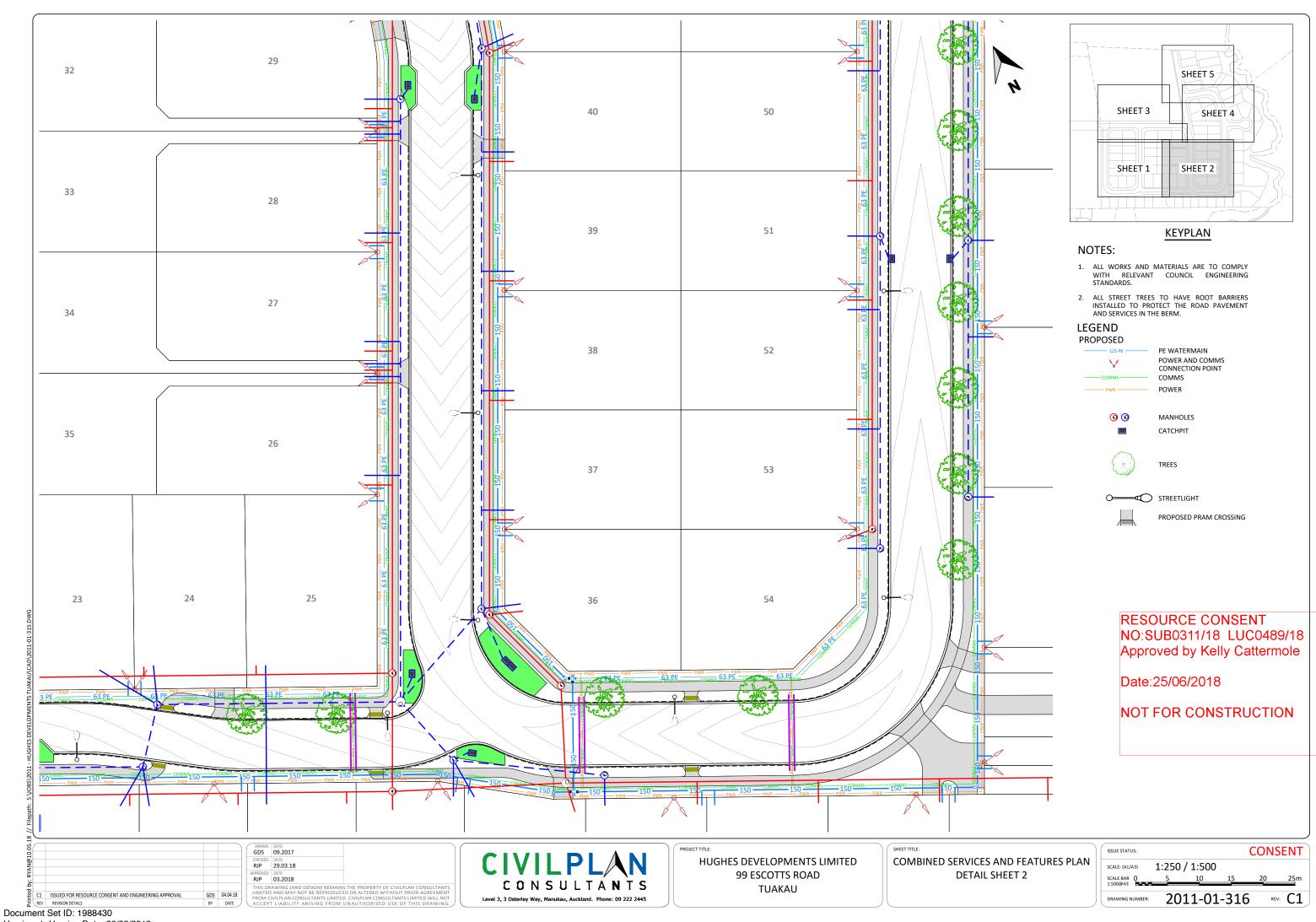
TUAKAU

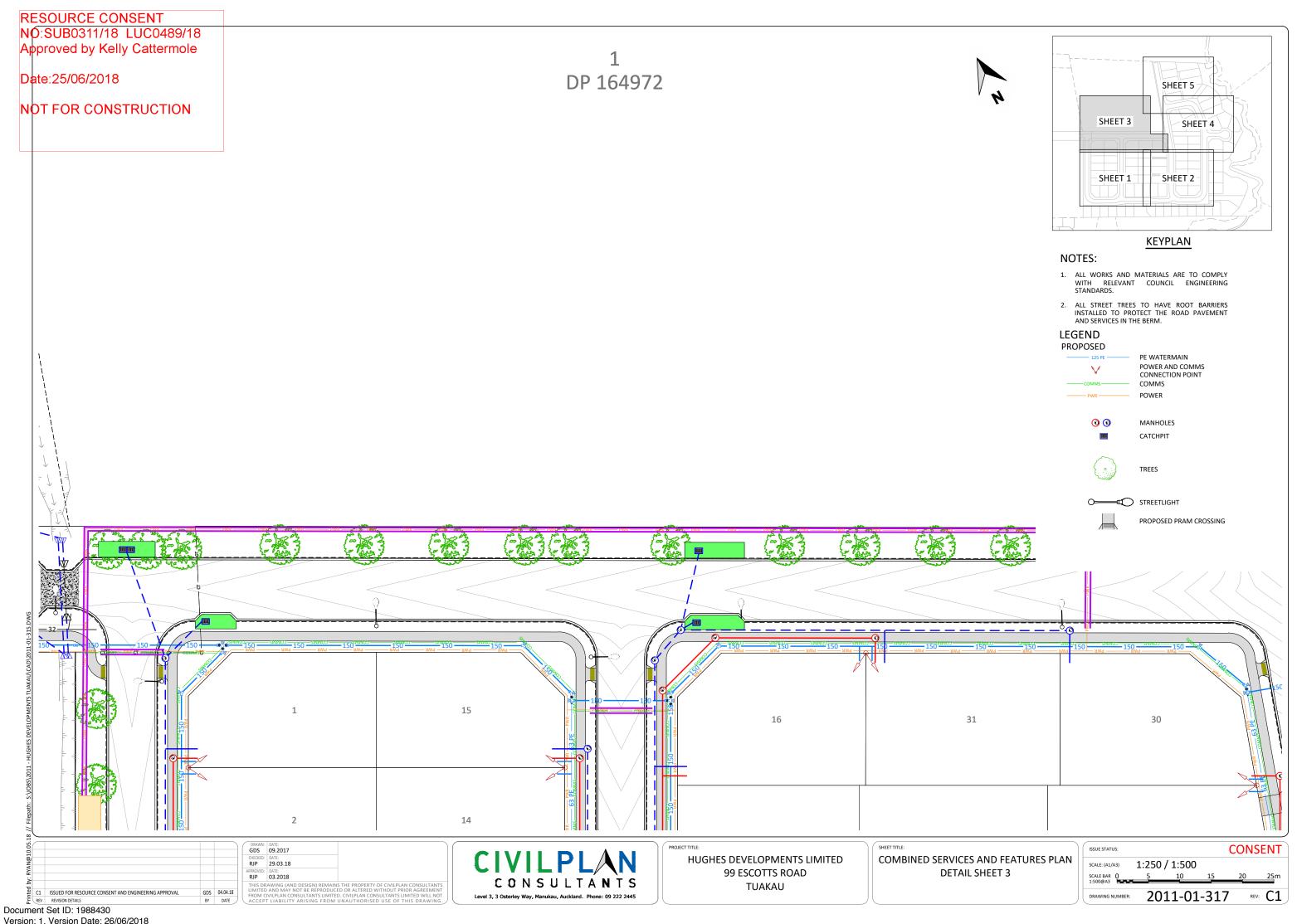
SHEET 7

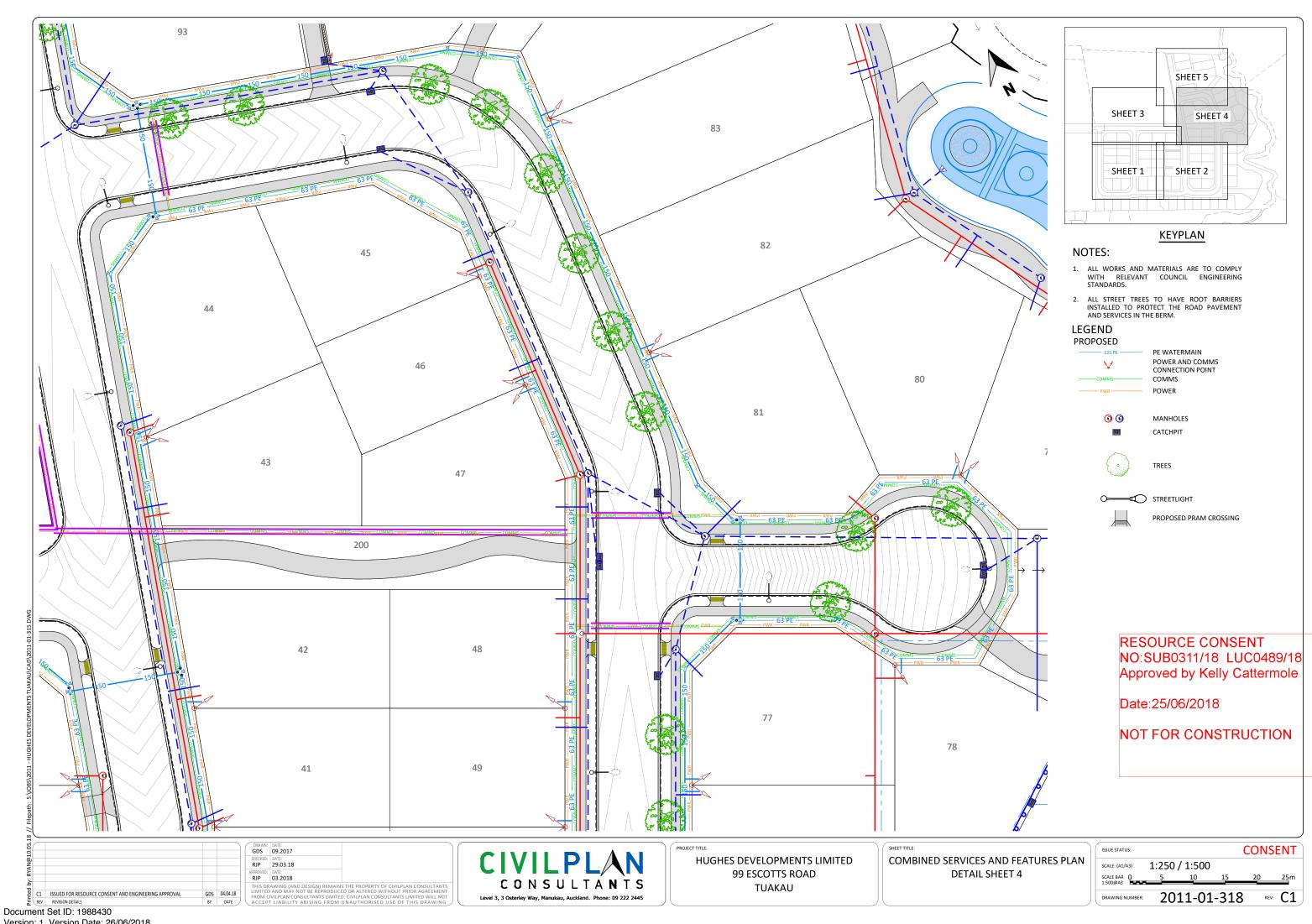


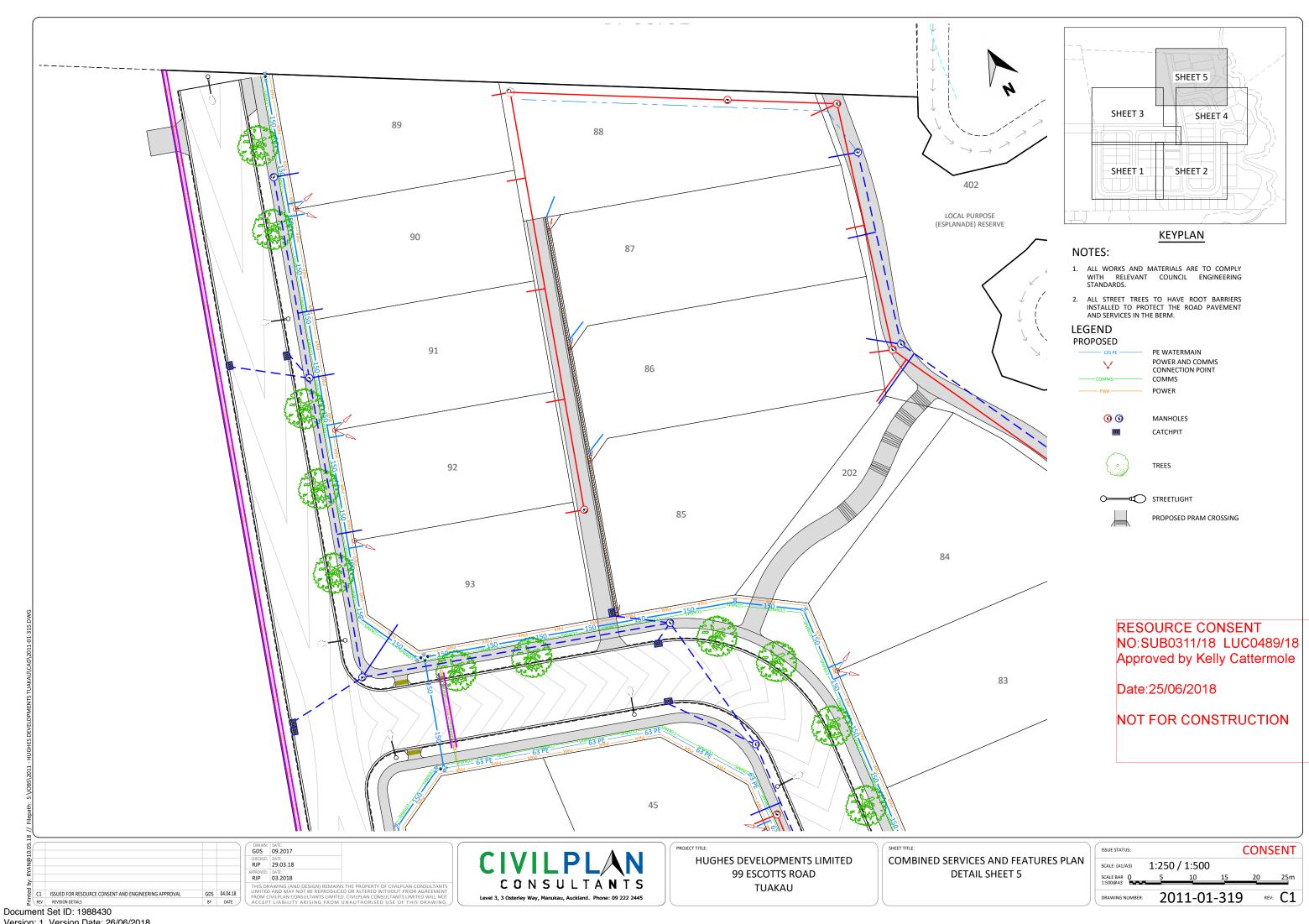


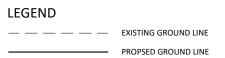


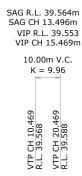




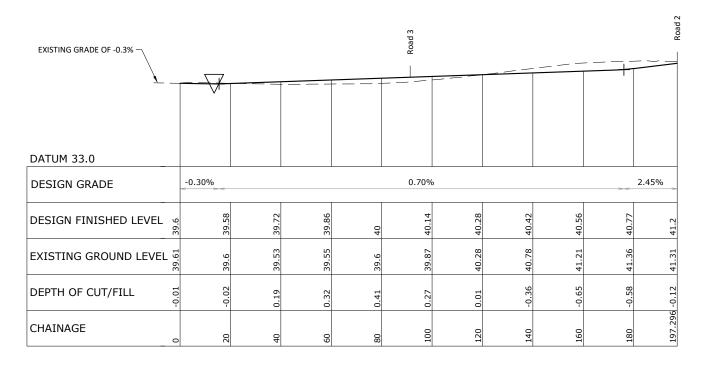








VIP CH 174:136 R.L. 40:643 R.L. 40:643 VIP CH 1171:136 VIP CH 181:136 VIP CH 181:136



LONGITUDINAL SECTION ROAD 1

SCALE: (A1/A3) 1:750H 1:150V / 1:1500H 1:300V

DRAWN: DATE
GDS 09.2017

CHCKCED: DATE:
RJP 29.03.18

APPROVED: DATE:
RJP 03.2018

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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU PROPOSED ROADING LONGITUDINAL SECTIONS SHEET 1 SCALE: (A1/A3) 1:750 / 1:1500
SCALE BAR 0 15 30 45 60 75 m

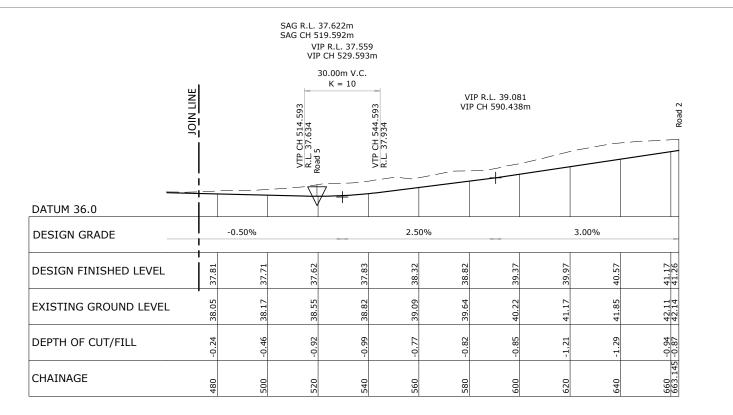
DRAWING NUMBER: 2011-01-320 REV: C1

RESOURCE CONSENT

Date:25/06/2018

NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

NOT FOR CONSTRUCTION



PROPSED GROUND LINE

— — — — EXISTING GROUND LINE

RESOURCE CONSENT
NO:SUB0311/18 LUC0489/18
Approved by Kelly Cattermole

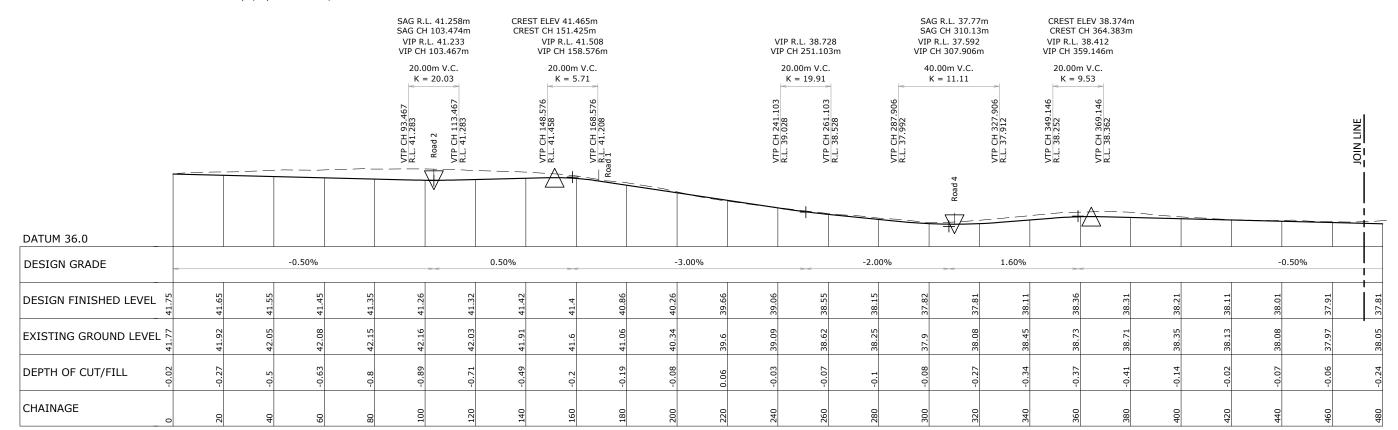
Date:25/06/2018

LEGEND

NOT FOR CONSTRUCTION

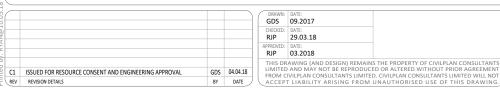
LONGITUDINAL SECTION ROAD 2 - CONTINUED

SCALE: (A1/A3) 1:750H 1:150V / 1:1500H 1:300V



LONGITUDINAL SECTION ROAD 2

SCALE: (A1/A3) 1:750H 1:150V / 1:1500H 1:300V



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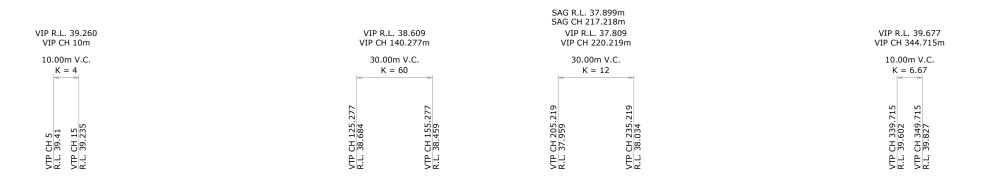
HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU PROPOSED ROADING LONGITUDINAL SECTIONS SHEET 2

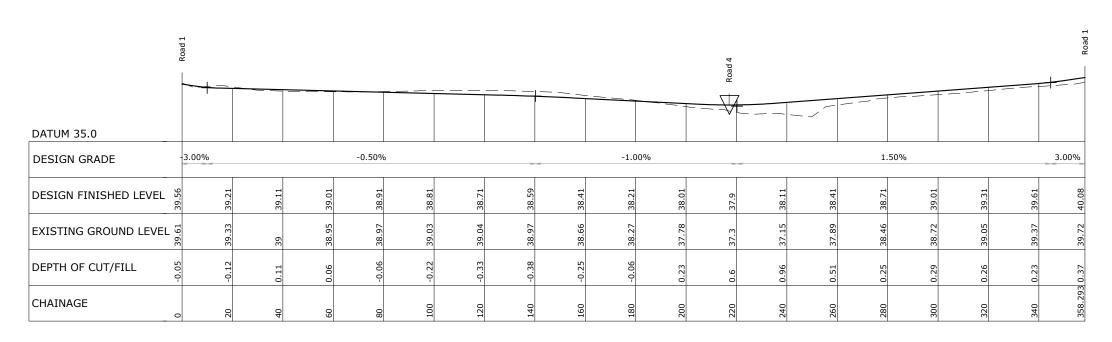
LEGEND ---- Existing ground line PROPSED GROUND LINE

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Date:25/06/2018

NOT FOR CONSTRUCTION





LONGITUDINAL SECTION ROAD 3

SCALE: (A1/A3) 1:750H 1:150V / 1:1500H 1:300V

GDS 09.2017 RJP 29.03.18 RJP 03.2018 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
REV REVISION DETAILS

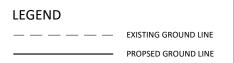
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99 ESCOTTS ROAD TUAKAU

PROPOSED ROADING LONGITUDINAL SECTIONS SHEET 3

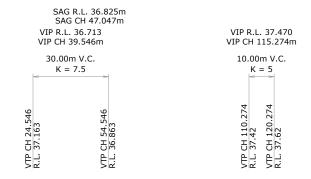
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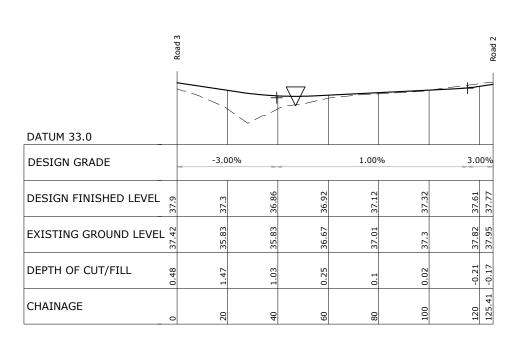


RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

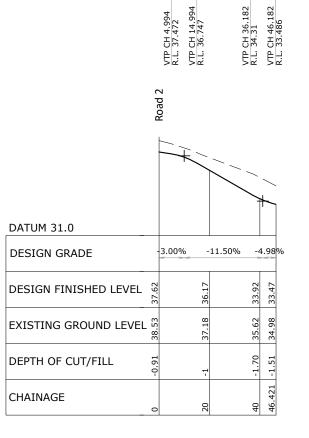
NOT FOR CONSTRUCTION





LONGITUDINAL SECTION ROAD 4

SCALE: (A1/A3) 1:750H 1:150V / 1:1500H 1:300V



VIP R.L. 37.322 VIP R.L. 33.735 VIP CH 9.994m VIP CH 41.182m

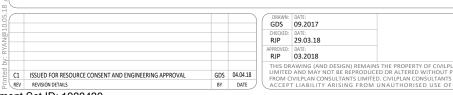
10.00m V.C.

K = 1.53

10.00m V.C. K = 1.18

LONGITUDINAL SECTION ROAD 5

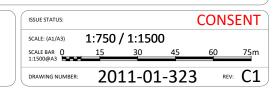
SCALE: (A1/A3) 1:750H 1:150V / 1:1500H 1:300V



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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED ROADING LONGITUDINAL SECTIONS SHEET 4



NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

- 1. ALL WORKS AND MATERIALS ARE TO COMPLY WITH RELEVANT COUNCIL ENGINEERING
- FOOTPATHS TO BE 100mm MINIMUM CONCRETE (20 MPa) BROOM FINISH ON 75mm GAP20 GRANULAR BEDDING ON A FIRM SUBGRADE (CBR>10) TO COUNCIL DETAIL D3.3.5. BEDDING LAYER DEPTH TO BE INCREASED FOR CBR<3 AT THE ENGINEER'S INSTRUCTION. TRANSVERSE CONTROL JOINTS TO BE INSTALLED AT MAXIMUM 3 m SPACINGS.
- ALL MANHOLES AND SERVICE CHAMBERS/BOXES LOCATED IN CONCRETE FOOTPATHS AND VEHICLE CROSSINGS TO HAVE 8XD12 TRIMMER BARS LAID IN CONCRETE AROUND OPENING TO PREVENT UNCONTROLLED CRACKING.
- ALL PRAM CROSSINGS SHALL HAVE TACTILE GROUND SURFACE INDICATORS (TGSI) INSTALLED IN ACCORDANCE WITH NZTA RTS 14 AND AS/NZS 1428.4:2009. SEE COUNCIL STANDARD DETAIL D3.6.2 AND D3.6.3 FOR CONSTRUCTION DETAILS.
- KERBING TO BE STANDARD SLIP FORM VERTICAL KERB AND CHANNEL (REFER DETAIL THIS SHEET) CONCRETE IS STANDARD 20 MPa CONCRETE.
- DN100 UNDERCHANNEL DRAINCOIL WITH FILTER SOCK TO BE INSTALLED IN ACCORDANCE WITH COUNCIL DETAILS, CONNECTED TO ROAD CATCHPIT SUMPS. TO BE INSTALLED IN 300mm WIDE TRENCH WITH MINIMUM OF 450mm COVER BELOW SUBGRADE LEVEL. BACKFILL WITH CLEAN RESOURCE DRAWNAGE METAL REFER TO STANDARD DRAWING D3.4.1 FOR FURTHER SPECIFICATION.

- ROAD PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH TABLE 1 FOR ROADS 1 AND 2. AND TABLE 2 FOR ROADS 3, 4, AND 5. CONTRACTOR TO TEST SUBGRADE AT 10m CENTRES ALTERNATING LANES AND REPORT BACK TO ENGINEER PRIOR TO COMMENCING PLACEMENT OF MATERIALS. IF SUBGRADE CBR IS 3% OR LESS, SUBGRADE IMPROVEMENT WILL BE REQUIRED AT THE ENGINEER'S INSTRUCTION.
- 8. PAVEMENT MATERIALS ARE TO BE TO THE FOLLOWING SPECIFICATION
- 8.1. SURFACING

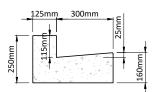
ASPHALTIC CONCRETE ON MEMBRANE TO NZTA M/10 2014.

BASECOURSE

GAP65

AP40 TO NZTA M/4 AS PER ITS 2016 SECTION 3.2.12 AND TABLE 6, PAGE 1-21

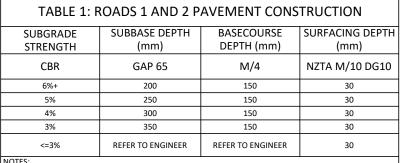
- SUBBASE:
- SERVICES TO BE LAID IN ACCORDANCE WITH EACH UTILITY SERVICE PROVIDER'S LAY SPECIFICATIONS, AND GENERALLY IN THE FOLLOWING LOCATIONS:
- 9.1. POWER: 0.4m OFF BDY; LV: 600mm COVER, HV: 900mm COVER
- WATER: 1.1m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- 9.3. TELECOM: 1.6m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- STREET LIGHTS WHERE NECESSARY: 0.8m OFF KERB FACE



SLIPFORM VERTICAL KERB AND CHANNEL

SCALE: (A1/A3) 1:10/1:20

TUAKAU



SHEET 1

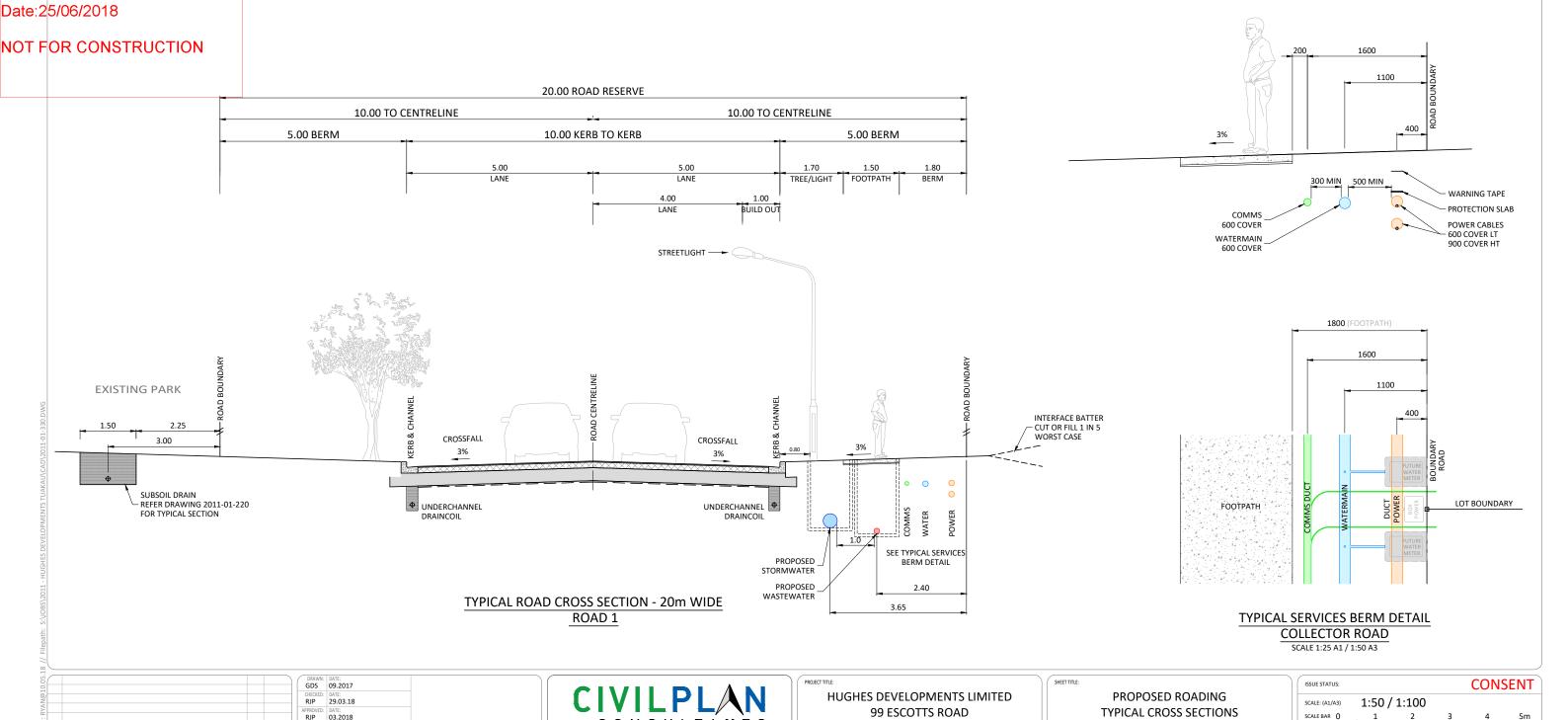
2011-01-330

I. GEOTEXTILE TO BE USED ON SUBGRADE WHERE CBR IS 4% OR LESS.

- 2. PAVEMENT DESIGN BASED ON ITS COUNCIL STANDARD SECTION 3.2.12.1 USING THE AUSTROADS DESIGN METHOD FOR DESA OF 3.1x10^5.

 3. 8.2T DEFLECTION TESTING ON FINAL SURFACE TO ITS COUNCIL STANDARD SECTION 3 TABLE 20, A3,
- A VERAGE DEFLECTION 1.50mm, 90TH PERCENTILE DEFLECTION 1.2mm, WITH MAXIMUM DEFLECTION OF 1.6mm. NO MORE THAN 10% OF THE RESULTS SHALL EXCEED THE 90TH PERCENTILE AND NO SINGLE RESULT





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NOTES

RESOURCE CONSENT

- ALL WORKS AND MATERIALS ARE TO COMPLY WITH RELEVANT COUNCIL ENGINEERING
 STANDARDS
- FOOTPATHS TO BE 100mm MINIMUM CONCRETE (20 MPa) BROOM FINISH ON 75mm GAP20 GRANULAR BEDDING ON A FIRM SUBGRADE (CBR>10) TO COUNCIL DETAIL D3.3.5. BEDDING LAYER DEPTH TO BE INCREASED FOR CBR<3 AT THE ENGINEER'S INSTRUCTION. TRANSVERSE CONTROL JOINTS TO BE INSTALLED AT MAXIMUM 3m SPACINGS.
- 3. ALL MANHOLES AND SERVICE CHAMBERS/BOXES LOCATED IN CONCRETE FOOTPATHS AND VEHICLE CROSSINGS TO HAVE 8XD12 TRIMMER BARS LAID IN CONCRETE AROUND OPENING TO PREVENT UNCONTROLLED CRACKING.
- 4. ALL PRAM CROSSINGS SHALL HAVE TACTILE GROUND SURFACE INDICATORS (TGSI) INSTALLED IN ACCORDANCE WITH NZTA RTS 14 AND AS/NZS 1428.4:2009. SEE COUNCIL STANDARD DETAIL D3.6.2 AND D3.6.3 FOR CONSTRUCTION DETAILS.
- 5. KERBING TO BE STANDARD SLIP FORM VERTICAL KERB AND CHANNEL (REFER DETAIL THIS SHEET) CONCRETE IS STANDARD 20 MPa CONCRETE.
- 6. DN100 UNDERCHANNEL DRAINCOIL WITH FILTER SOCK TO BE INSTALLED IN ACCORDANCE WITH COUNCIL DETAILS, CONNECTED TO ROAD CATCHPIT SUMPS. TO BE INSTALLED IN 300mm WIDE TRENCH WITH MINIMUM OF 450mm COVER BELOW SUBGRADE LEVEL. BACKFILL WITH CLEAN DRAINAGE METAL. REFER TO STANDARD DRAWING D3.4.1 FOR FURTHER SPECIFICATION.

29.03.18

RJP 03.2018

- ROAD PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH TABLE 1 FOR ROADS 1 AND 2, AND TABLE 2 FOR ROADS 3, 4, AND 5. CONTRACTOR TO TEST SUBGRADE AT 10m CENTRES ALTERNATING LANES AND REPORT BACK TO ENGINEER PRIOR TO COMMENCING PLACEMENT OF MATERIALS. IF SUBGRADE CBR IS 3% OR LESS, SUBGRADE IMPROVEMENT WILL BE REQUIRED AT THE ENGINEER'S INSTRUCTION.
- 8. PAVEMENT MATERIALS ARE TO BE TO THE FOLLOWING SPECIFICATION:
- 8.1. SURFACING:

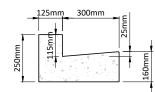
ASPHALTIC CONCRETE ON MEMBRANE TO NZTA M/10 2014.

B.2. BASECOURSE:

AP40 TO NZTA M/4 AS PER ITS 2016 SECTION 3.2.12 AND TABLE 6, PAGE 1-21

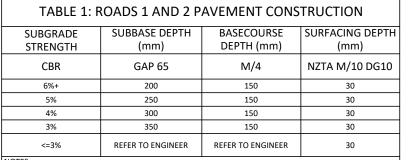
8.3. SUBBASE:

- . SERVICES TO BE LAID IN ACCORDANCE WITH EACH UTILITY SERVICE PROVIDER'S LAY SPECIFICATIONS, AND GENERALLY IN THE FOLLOWING LOCATIONS:
- 9.1. POWER: 0.4m OFF BDY; LV: 600mm COVER, HV: 900mm COVER
- 2. WATER: 1.1m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- 9.3. TELECOM: 1.6m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- 4. STREET LIGHTS WHERE NECESSARY: 0.8m OFF KERB FACE



SLIPFORM VERTICAL KERB AND CHANNEL

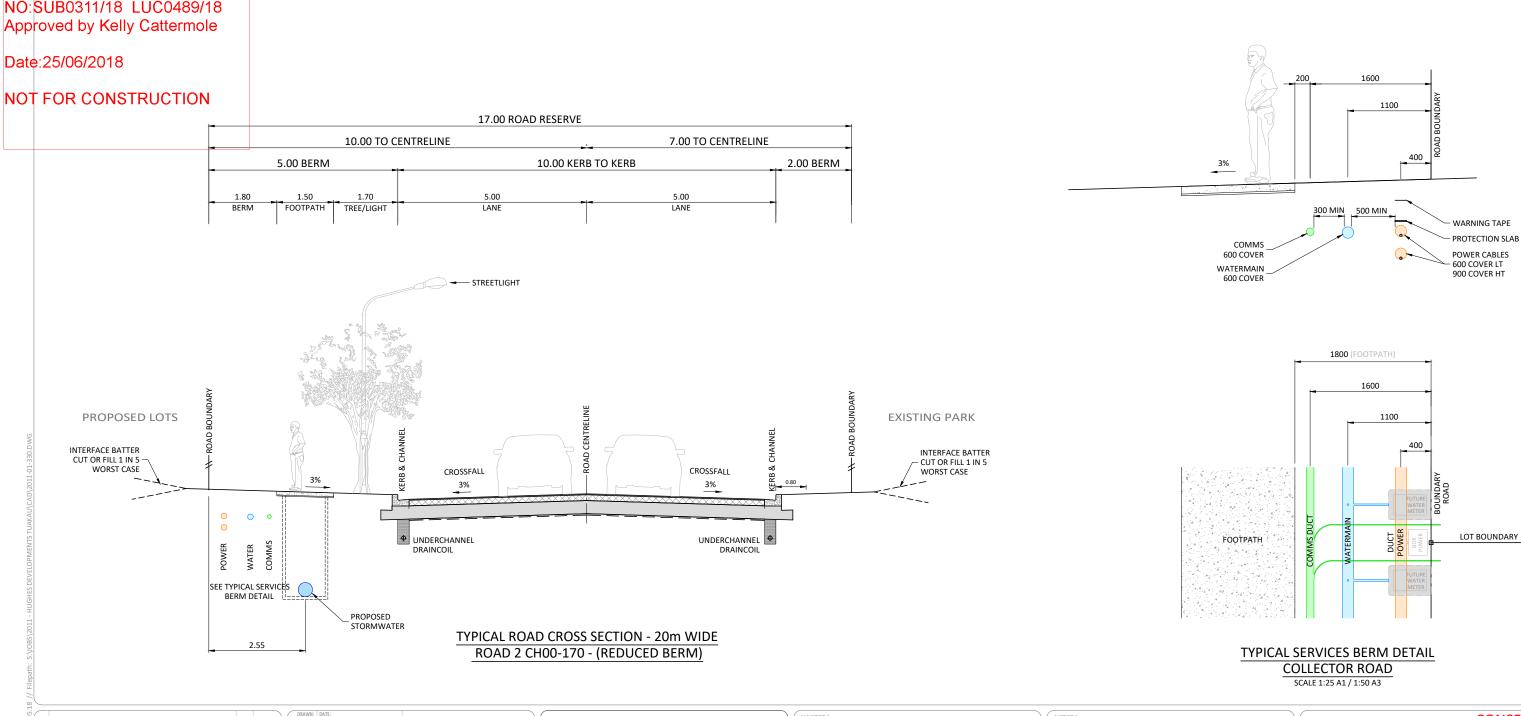
SCALE: (A1/A3) 1:10/1:20



NOTES:

I. GEOTEXTILE TO BE USED ON SUBGRADE WHERE CBR IS 4% OR LESS.

- PAVEMENT DESIGN BASED ON ITS COUNCIL STANDARD SECTION 3.2.12.1 USING THE AUSTROADS DESIGN METHOD FOR DESA OF 3.1x10^5.
 8.2T DEFLECTION TESTING ON FINAL SURFACE TO ITS COUNCIL STANDARD SECTION 3 TABLE 20, A3,
- 3. 8.2T DEFLECTION TESTING ON FINAL SURFACE TO ITS COUNCIL STANDARD SECTION 3 TABLE 20, A3, AVERAGE DEFLECTION 1.0mm, 90TH PERCENTILE DEFLECTION 1.2mm, WITH MAXIMUM DEFLECTION OF 1.6mm. NO MORE THAN 10% OF THE RESULTS SHALL EXCEED THE 90TH PERCENTILE AND NO SINGLE RESULT

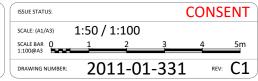


CIVILPLAN

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C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVA

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU PROPOSED ROADING TYPICAL CROSS SECTIONS SHEET 2



- 1. ALL WORKS AND MATERIALS ARE TO COMPLY WITH RELEVANT COUNCIL ENGINEERING
- FOOTPATHS TO BE 100mm MINIMUM CONCRETE (20 MPa) BROOM FINISH ON 75mm GAP20 GRANULAR BEDDING ON A FIRM SUBGRADE (CBR>10) TO COUNCIL DETAIL D3.3.5. BEDDING LAYER DEPTH TO BE INCREASED FOR CBR<3 AT THE ENGINEER'S INSTRUCTION. TRANSVERSE CONTROL JOINTS TO BE INSTALLED AT MAXIMUM 3 m SPACINGS.
- ALL MANHOLES AND SERVICE CHAMBERS/BOXES LOCATED IN CONCRETE FOOTPATHS AND VEHICLE CROSSINGS TO HAVE 8XD12 TRIMMER BARS LAID IN CONCRETE AROUND OPENING TO PREVENT UNCONTROLLED CRACKING.
- 4. ALL PRAM CROSSINGS SHALL HAVE TACTILE GROUND SURFACE INDICATORS (TGSI) INSTALLED IN ACCORDANCE WITH NZTA RTS 14 AND AS/NZS 1428.4:2009. SEE COUNCIL STANDARD DETAIL D3.6.2 AND D3.6.3 FOR CONSTRUCTION DETAILS.
- KERBING TO BE STANDARD SLIP FORM VERTICAL KERB AND CHANNEL (REFER DETAIL THIS SHEET) CONCRETE IS STANDARD 20 MPa CONCRETE.
- DN100 UNDERCHANNEL DRAINCOIL WITH FILTER SOCK TO BE INSTALLED IN ACCORDANCE WITH COUNCIL DETAILS, CONNECTED TO ROAD CATCHPIT SUMPS. TO BE INSTALLED IN 300mm WIDE TRENCH WITH MINIMUM OF 450mm COVER BELOW SUBGRADE LEVEL. BACKFILL WITH CLEAN RESOURCE PERCENTION.

29.03.18

RJP 03.2018

NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION

- ROAD PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH TABLE 1 FOR ROADS 1 AND 2. AND TABLE 2 FOR ROADS 3, 4, AND 5. CONTRACTOR TO TEST SUBGRADE AT 10m CENTRES ALTERNATING LANES AND REPORT BACK TO ENGINEER PRIOR TO COMMENCING PLACEMENT OF MATERIALS. IF SUBGRADE CBR IS 3% OR LESS, SUBGRADE IMPROVEMENT WILL BE REQUIRED AT THE ENGINEER'S INSTRUCTION.
- 8. PAVEMENT MATERIALS ARE TO BE TO THE FOLLOWING SPECIFICATION:
- 8.1. SURFACING

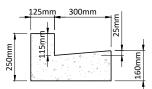
ASPHALTIC CONCRETE ON MEMBRANE TO NZTA M/10 2014

BASECOURSE:

AP40 TO NZTA M/4 AS PER ITS 2016 SECTION 3.2.12 AND TABLE 6, PAGE 1-21

8.3. SUBBASE GAP65

- SERVICES TO BE LAID IN ACCORDANCE WITH EACH UTILITY SERVICE PROVIDER'S LAY
- SPECIFICATIONS, AND GENERALLY IN THE FOLLOWING LOCATIONS: 9.1. POWER: 0.4m OFF BDY; LV: 600mm COVER, HV: 900mm COVER
- WATER: 1.1m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- 9.3. TELECOM: 1.6m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- STREET LIGHTS WHERE NECESSARY: 0.8m OFF KERB FACE



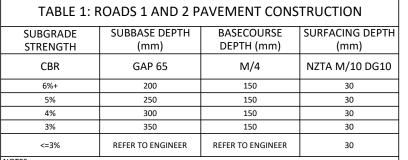
SLIPFORM VERTICAL KERB AND CHANNEL

SCALE: (A1/A3) 1:10/1:20

HUGHES DEVELOPMENTS LIMITED

99 ESCOTTS ROAD

TUAKAU



I. GEOTEXTILE TO BE USED ON SUBGRADE WHERE CBR IS 4% OR LESS.

2. PAVEMENT DESIGN BASED ON ITS COUNCIL STANDARD SECTION 3.2.12.1 USING THE AUSTROADS DESIGN METHOD FOR DESA OF 3.1x10^5.

3. 8.2T DEFLECTION TESTING ON FINAL SURFACE TO ITS COUNCIL STANDARD SECTION 3 TABLE 20, A3,

CONSENT

ISSUE STATUS

SCALE: (A1/A3)

1:50 / 1:100

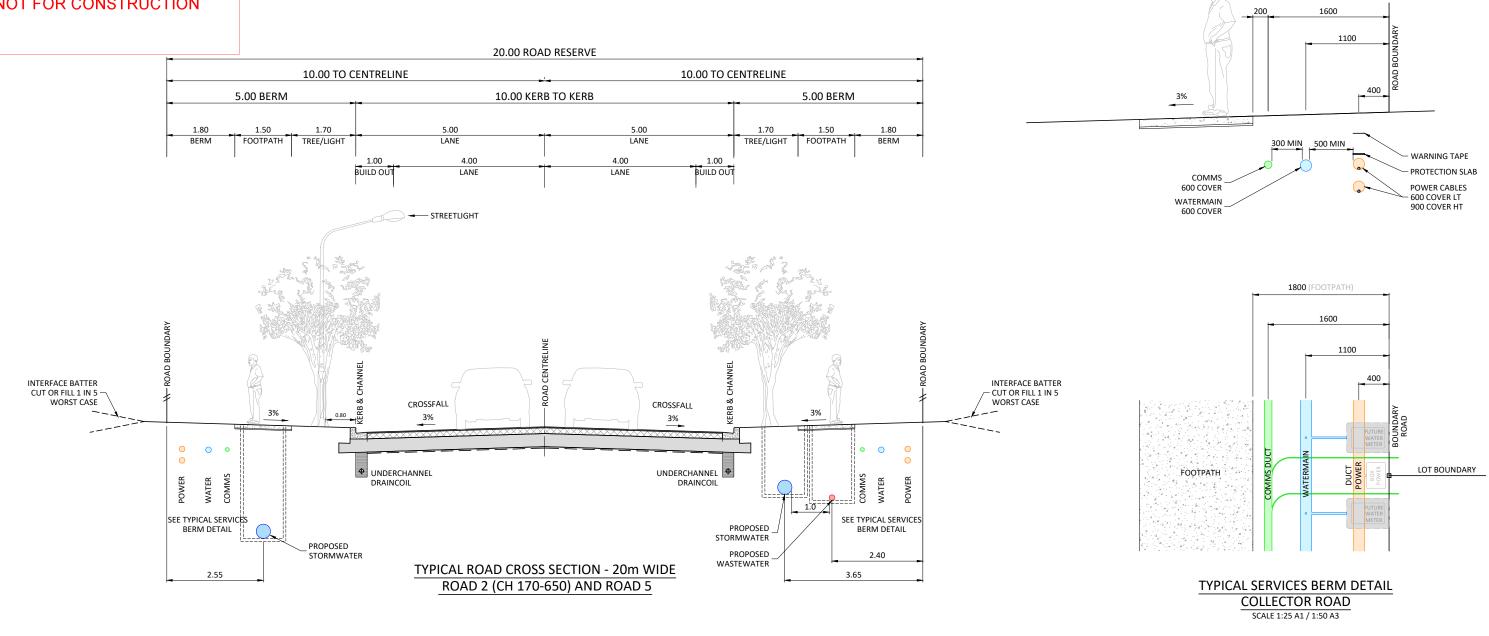
2011-01-332

PROPOSED ROADING

TYPICAL CROSS SECTIONS

SHEET 3

A VERAGE DEFLECTION 1.50mm, 90TH PERCENTILE DEFLECTION 1.2mm, WITH MAXIMUM DEFLECTION OF 1.6mm. NO MORE THAN 10% OF THE RESULTS SHALL EXCEED THE 90TH PERCENTILE AND NO SINGLE RESULT



CIVILPLAN

Document Set ID: 1988430 Version: 1, Version Date: 26/06/2018

C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVA

RESOURCE CONSENT

- 1. ALL WORKS AND MATERIALS ARE TO COMPLY WITH RELEVANT COUNCIL ENGINEERING
- FOOTPATHS TO BE 100mm MINIMUM CONCRETE (20 MPa) BROOM FINISH ON 75mm GAP20 GRANULAR BEDDING ON A FIRM SUBGRADE (CBR>10) TO COUNCIL DETAIL D3.3.5. BEDDING LAYER DEPTH TO BE INCREASED FOR CBR<3 AT THE ENGINEER'S INSTRUCTION. TRANSVERSE CONTROL JOINTS TO BE INSTALLED AT MAXIMUM 3 m SPACINGS.
- ALL MANHOLES AND SERVICE CHAMBERS/BOXES LOCATED IN CONCRETE FOOTPATHS AND VEHICLE CROSSINGS TO HAVE 8XD12 TRIMMER BARS LAID IN CONCRETE AROUND OPENING TO PREVENT UNCONTROLLED CRACKING.
- 4. ALL PRAM CROSSINGS SHALL HAVE TACTILE GROUND SURFACE INDICATORS (TGSI) INSTALLED IN ACCORDANCE WITH NZTA RTS 14 AND AS/NZS 1428.4:2009. SEE COUNCIL STANDARD DETAIL D3.6.2 AND D3.6.3 FOR CONSTRUCTION DETAILS.
- KERBING TO BE STANDARD SLIP FORM VERTICAL KERB AND CHANNEL (REFER DETAIL THIS SHEET) CONCRETE IS STANDARD 20 MPa CONCRETE.
- DN100 UNDERCHANNEL DRAINCOIL WITH FILTER SOCK TO BE INSTALLED IN ACCORDANCE WITH COUNCIL DETAILS, CONNECTED TO ROAD CATCHPIT SUMPS. TO BE INSTALLED IN 300mm WIDE TRENCH WITH MINIMUM OF 450mm COVER BELOW SUBGRADE LEVEL. BACKFILL WITH CLEAN DRAINAGE METAL. REFER TO STANDARD DRAWING D3.4.1 FOR FURTHER SPECIFICATION.

GDS 09.2017

RJP 03.2018

29.03.18

- ROAD PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH TABLE 1 FOR ROADS 1 AND 2. AND TABLE 2 FOR ROADS 3, 4, AND 5. CONTRACTOR TO TEST SUBGRADE AT 10m CENTRES ALTERNATING LANES AND REPORT BACK TO ENGINEER PRIOR TO COMMENCING PLACEMENT OF MATERIALS. IF SUBGRADE CBR IS 3% OR LESS, SUBGRADE IMPROVEMENT WILL BE REQUIRED AT THE ENGINEER'S INSTRUCTION.
- 8. PAVEMENT MATERIALS ARE TO BE TO THE FOLLOWING SPECIFICATION
- 8.1. SURFACING

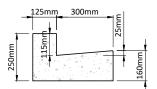
ASPHALTIC CONCRETE ON MEMBRANE TO NZTA M/10 2014

BASECOURSE

AP40 TO NZTA M/4 AS PER ITS 2016 SECTION 3.2.12 AND TABLE 6, PAGE 1-21

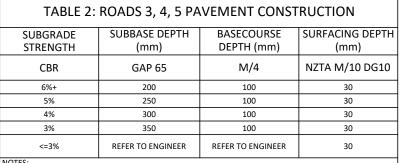
SUBBASE:

- GAP65
- SERVICES TO BE LAID IN ACCORDANCE WITH EACH UTILITY SERVICE PROVIDER'S LAY SPECIFICATIONS, AND GENERALLY IN THE FOLLOWING LOCATIONS:
- 9.1. POWER: 0.4m OFF BDY; LV: 600mm COVER, HV: 900mm COVER
- WATER: 1.1m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- 9.3. TELECOM: 1.6m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- STREET LIGHTS WHERE NECESSARY: 0.8m OFF KERB FACE



SLIPFORM VERTICAL KERB AND CHANNEL

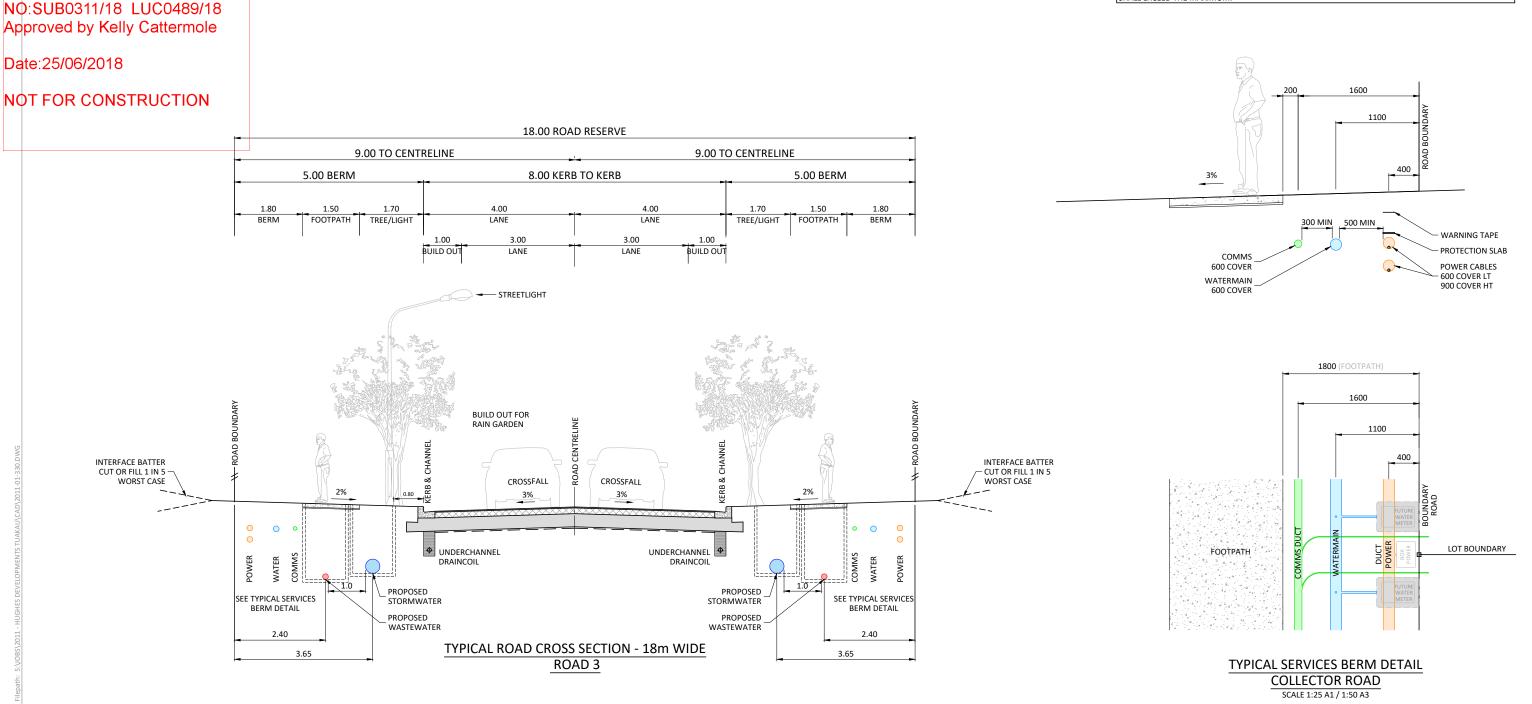
SCALE: (A1/A3) 1:10/1:20



. GEOTEXTILE TO BE USED ON SUBGRADE WHERE CBR IS 4% OR LESS.

- 2. PAVEMENT DESIGN BASED ON ITS COUNCIL STANDARD SECTION 3.2.12.1 USING THE AUSTROADS DESIGN METHOD FOR DESA OF 1.3x10^5.
- 3. 8.2T DEFLECTION TESTING ON FINAL SURFACE TO ITS COUNCIL STANDARD SECTION 3 TABLE 20, A2, AVERAGE DEFLECTION 1.1mm, 90^{TH} PERCENTILE DEFLECTION 1.35mm, WITH MAXIMUM DEFLECTION OF 1.8mm. NO MORE THAN 10% OF THE RESULTS SHALL EXCEED THE 90^{TH} PERCENTILE AND NO SINGLE RESULT

SHALL EXCEED THE MAXIMUM.



CIVILPLAN

Document Set ID: 1988430 Version: 1, Version Date: 26/06/2018

C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVA

99 ESCOTTS ROAD TUAKAU

HUGHES DEVELOPMENTS LIMITED

PROPOSED ROADING TYPICAL CROSS SECTIONS SHEET 4

CONSENT ISSUE STATUS 1:50 / 1:100 SCALE: (A1/A3) 2011-01-333

- 1. ALL WORKS AND MATERIALS ARE TO COMPLY WITH RELEVANT COUNCIL ENGINEERING
- FOOTPATHS TO BE 100mm MINIMUM CONCRETE (20 MPa) BROOM FINISH ON 75mm GAP20 GRANULAR BEDDING ON A FIRM SUBGRADE (CBR>10) TO COUNCIL DETAIL D3.3.5. BEDDING LAYER DEPTH TO BE INCREASED FOR CBR<3 AT THE ENGINEER'S INSTRUCTION. TRANSVERSE CONTROL JOINTS TO BE INSTALLED AT MAXIMUM 3 m SPACINGS.
- ALL MANHOLES AND SERVICE CHAMBERS/BOXES LOCATED IN CONCRETE FOOTPATHS AND VEHICLE CROSSINGS TO HAVE 8XD12 TRIMMER BARS LAID IN CONCRETE AROUND OPENING TO PREVENT UNCONTROLLED CRACKING.
- 4. ALL PRAM CROSSINGS SHALL HAVE TACTILE GROUND SURFACE INDICATORS (TGSI) INSTALLED IN ACCORDANCE WITH NZTA RTS 14 AND AS/NZS 1428.4:2009. SEE COUNCIL STANDARD DETAIL D3.6.2 AND D3.6.3 FOR CONSTRUCTION DETAILS.
- KERBING TO BE STANDARD SLIP FORM VERTICAL KERB AND CHANNEL (REFER DETAIL THIS SHEET) CONCRETE IS STANDARD 20 MPa CONCRETE.
- DN100 UNDERCHANNEL DRAINCOIL WITH FILTER SOCK TO BE INSTALLED IN ACCORDANCE WITH COUNCIL DETAILS, CONNECTED TO ROAD CATCHPIT SUMPS. TO BE INSTALLED IN 300mm WIDE TRENCH WITH MINIMUM OF 450mm COVER BELOW SUBGRADE LEVEL. BACKFILL WITH CLEAN DRAINAGE METAL. REFER TO STANDARD DRAWING D3.4.1 FOR FURTHER SPECIFICATION.

- ROAD PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH TABLE 1 FOR ROADS 1 AND 2. AND TABLE 2 FOR ROADS 3, 4, AND 5. CONTRACTOR TO TEST SUBGRADE AT 10m CENTRES ALTERNATING LANES AND REPORT BACK TO ENGINEER PRIOR TO COMMENCING PLACEMENT OF MATERIALS. IF SUBGRADE CBR IS 3% OR LESS, SUBGRADE IMPROVEMENT WILL BE REQUIRED AT THE ENGINEER'S INSTRUCTION.
- 8. PAVEMENT MATERIALS ARE TO BE TO THE FOLLOWING SPECIFICATION:
- 8.1. SURFACING:

ASPHALTIC CONCRETE ON MEMBRANE TO NZTA M/10 2014

BASECOURSE:

AP40 TO NZTA M/4 AS PER ITS 2016 SECTION 3.2.12 AND TABLE 6, PAGE 1-21

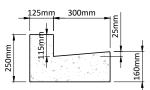
15.00 ROAD RESERVE

9.00 TO CENTRELINE

8.3. SUBBASE GAP65

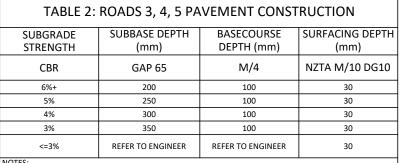
6.00 TO CENTRELINE

- SERVICES TO BE LAID IN ACCORDANCE WITH EACH UTILITY SERVICE PROVIDER'S LAY SPECIFICATIONS, AND GENERALLY IN THE FOLLOWING LOCATIONS:
- 9.1. POWER: 0.4m OFF BDY; LV: 600mm COVER, HV: 900mm COVER
- WATER: 1.1m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- 9.3. TELECOM: 1.6m OFF BDY; 600mm COVER (900mm IN CARRIAGEWAYS)
- STREET LIGHTS WHERE NECESSARY: 0.8m OFF KERB FACE



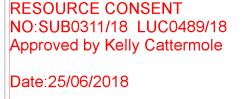
SLIPFORM VERTICAL KERB AND CHANNEL

SCALE: (A1/A3) 1:10/1:20

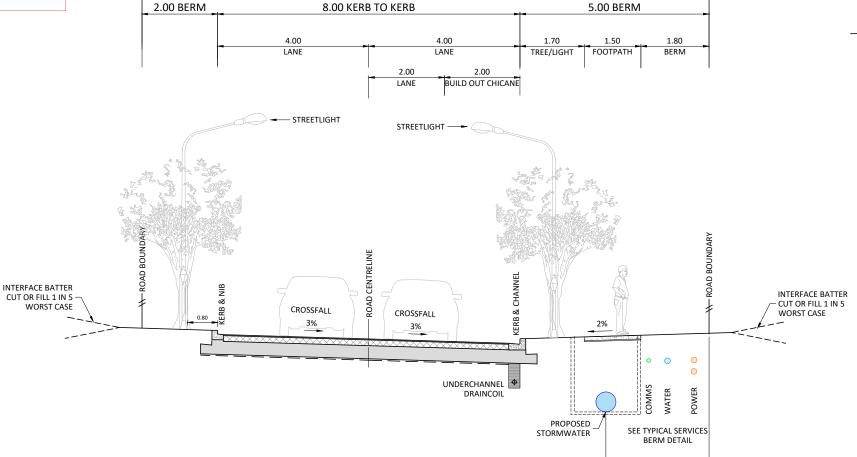


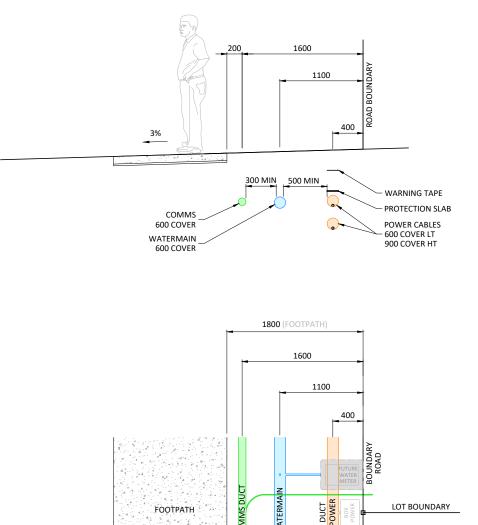
. GEOTEXTILE TO BE USED ON SUBGRADE WHERE CBR IS 4% OR LESS.

- 2. PAVEMENT DESIGN BASED ON ITS COUNCIL STANDARD SECTION 3.2.12.1 USING THE AUSTROADS DESIGN METHOD FOR DESA OF 1.3x10^5.
- 3. 8.2T DEFLECTION TESTING ON FINAL SURFACE TO ITS COUNCIL STANDARD SECTION 3 TABLE 20, A2, AVERAGE DEFLECTION 1.1mm, 90^{TH} PERCENTILE DEFLECTION 1.35mm, WITH MAXIMUM DEFLECTION OF 1.8mm. NO MORE THAN 10% OF THE RESULTS SHALL EXCEED THE 90^{TH} PERCENTILE AND NO SINGLE RESULT SHALL EXCEED THE MAXIMUM.



NOT FOR CONSTRUCTION





TYPICAL SERVICES BERM DETAIL COLLECTOR ROAD SCALE 1:25 A1 / 1:50 A3

C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVA

GDS 09.2017 29.03.18 RJP 03.2018

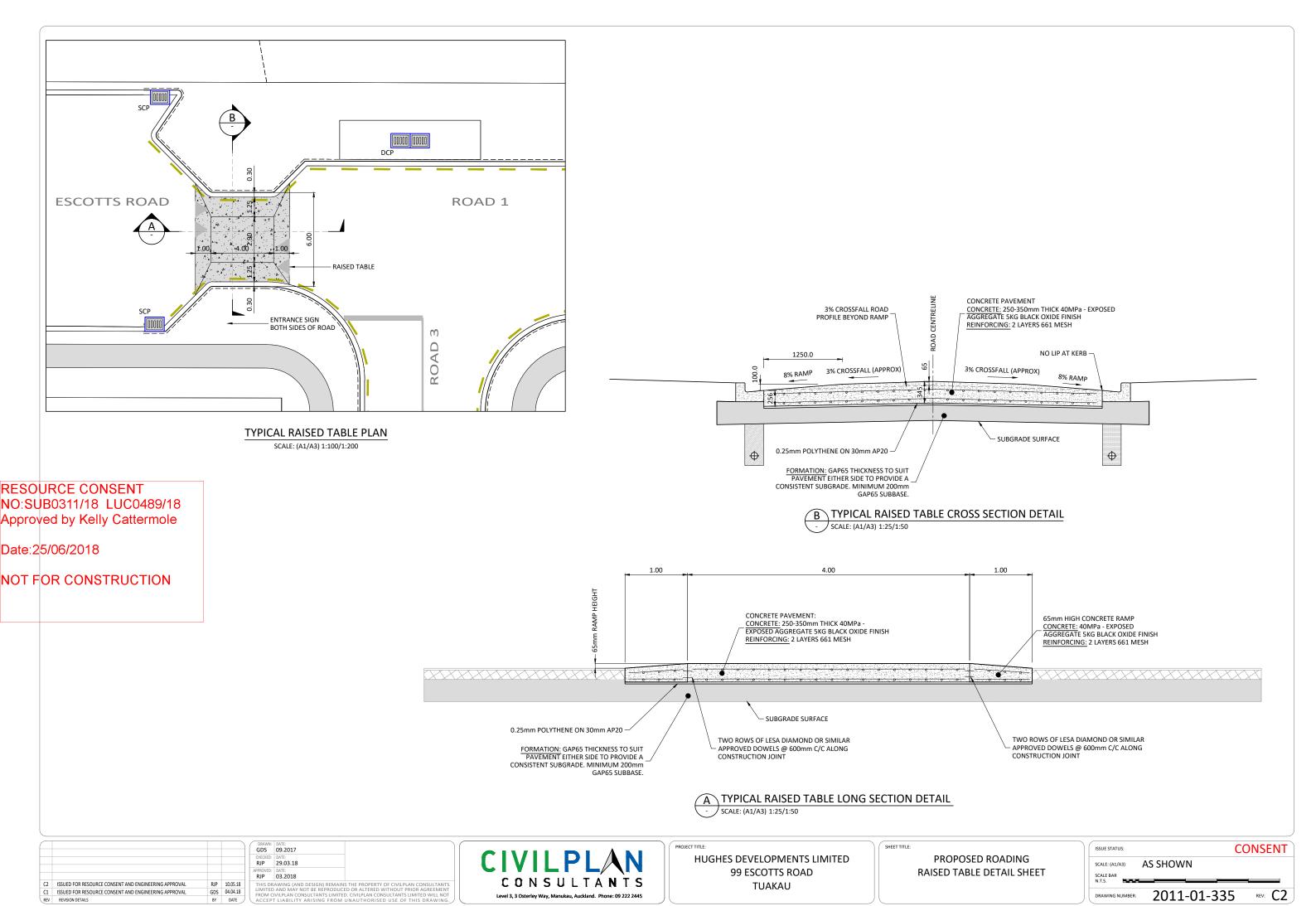
CIVILPLAN

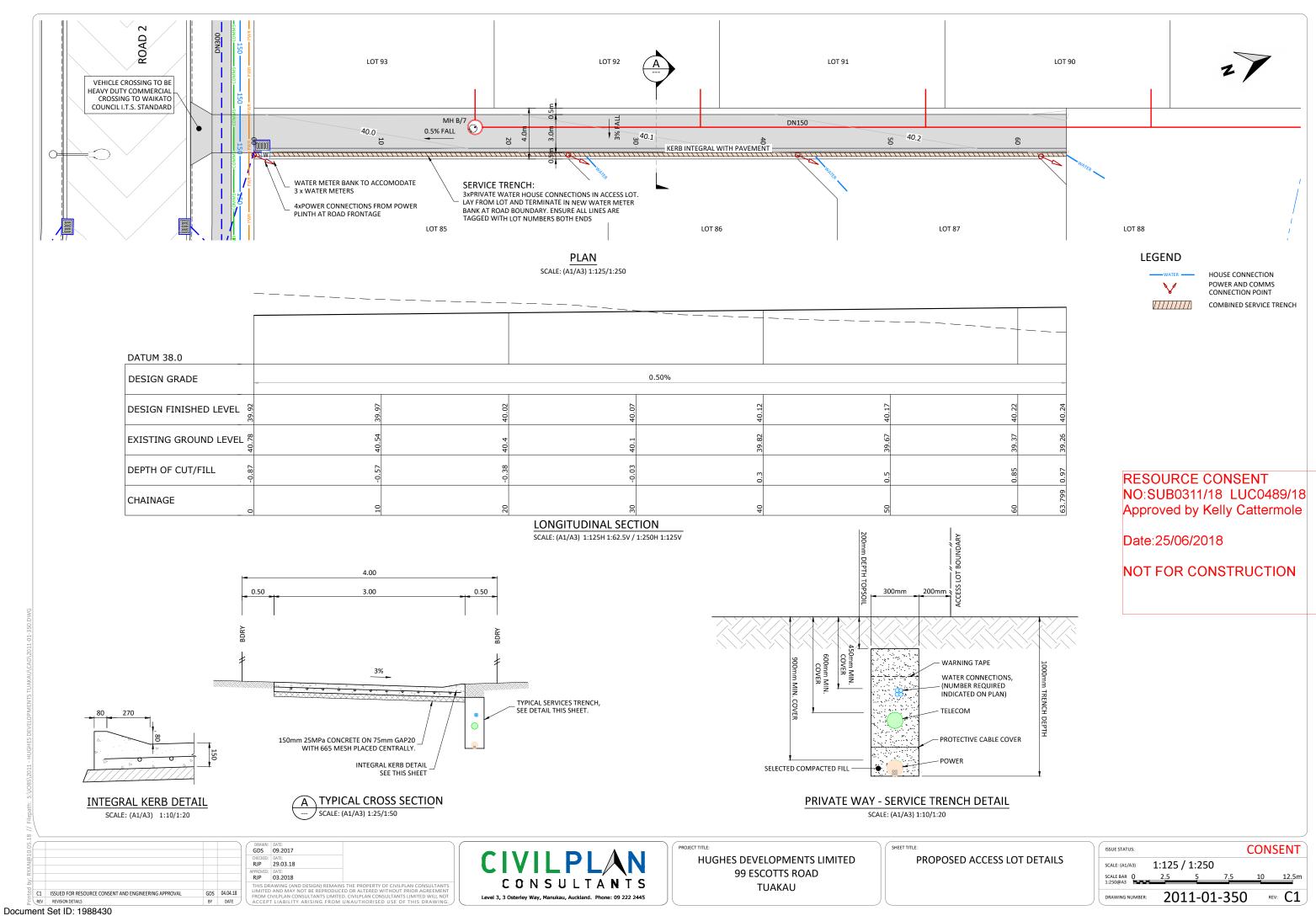
TYPICAL ROAD CROSS SECTION - 15m WIDE ROAD 4 - (REDUCED BERM)

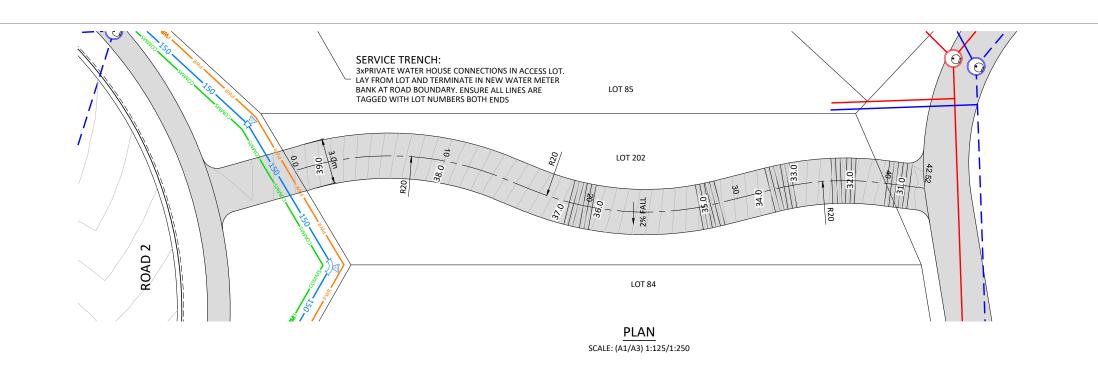
> **HUGHES DEVELOPMENTS LIMITED** 99 ESCOTTS ROAD TUAKAU

PROPOSED ROADING TYPICAL CROSS SECTIONS SHEET 5

CONSENT ISSUE STATUS 1:50 / 1:100 SCALE: (A1/A3) 2011-01-334









3.00

0.75

STAIR PLAN

SCALE: (A1/A3) 1:25/1:50

A STAIR CROSS SECTION SCALE: (A1/A3) 1:25/1:50

- 1. REFER TO DRAWING 2011-01-330 NOTE 2 FOR CONCRETE FOOTPATH CONSTRUCTION.
- 2. STEPS BE CONSTRUCTED AS PER DETAIL THIS SHEET AND IS TO HAVE MAXIMUM RISER HEIGHT OF 180mm AND MINIMUM TREAD LENGTH OF 310mm. THE MAXIMUM VERTICAL RISE BETWEEN LANDINGS FOR ALL STEPS IS NO MORE THAN 2.5m. A LANDING IS DEFINED AS A BREAK OF AT LEAST 1m IN A RUN OF STEPS.

H5 TREATED 300mm X 75mm THICK TIMBER BOARDS

H5 TREATED 50mm X 50mm TIMBER STAKES, 600mm LONG NAILED FROM EACH SIDE, MIN. 2 GALVANISED FLAT HEAD NAILS PER PEG

H5 TREATED 150mm X 75mm THICK - TIMBER EDGE BOARDS NAILED FROM EACH SIDE

H5 TREATED 150mm X 75mm THICK - TIMBER EDGE BOARDS NAILED FROM

CONCRETE FOOTPATH CONSTRUCTION AS PER NOTE 2 DRAWING 2011-01-330

H5 TREATED 50mm X 50mm TIMBER STAKES, 600mm LONG — NAILED FROM EACH SIDE, MIN. 2 GALVANISED FLAT HEAD NAILS

H5 TREATED 300mm X - 75mm THICK TIMBER BOARDS

EACH SIDE

PER PEG

RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

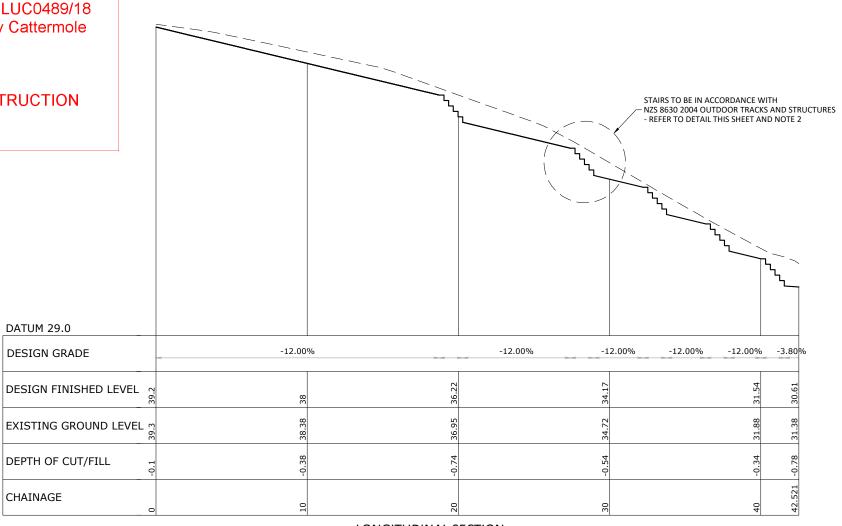
NOT FOR CONSTRUCTION

DATUM 29.0

DESIGN GRADE

DEPTH OF CUT/FILL

CHAINAGE



LONGITUDINAL SECTION SCALE: (A1/A3) 1:125H 1:62.5V / 1:250H 1:125V

RJP 29.03.18 RJP 03.2018

CIVILPLAN CONSULTANTS

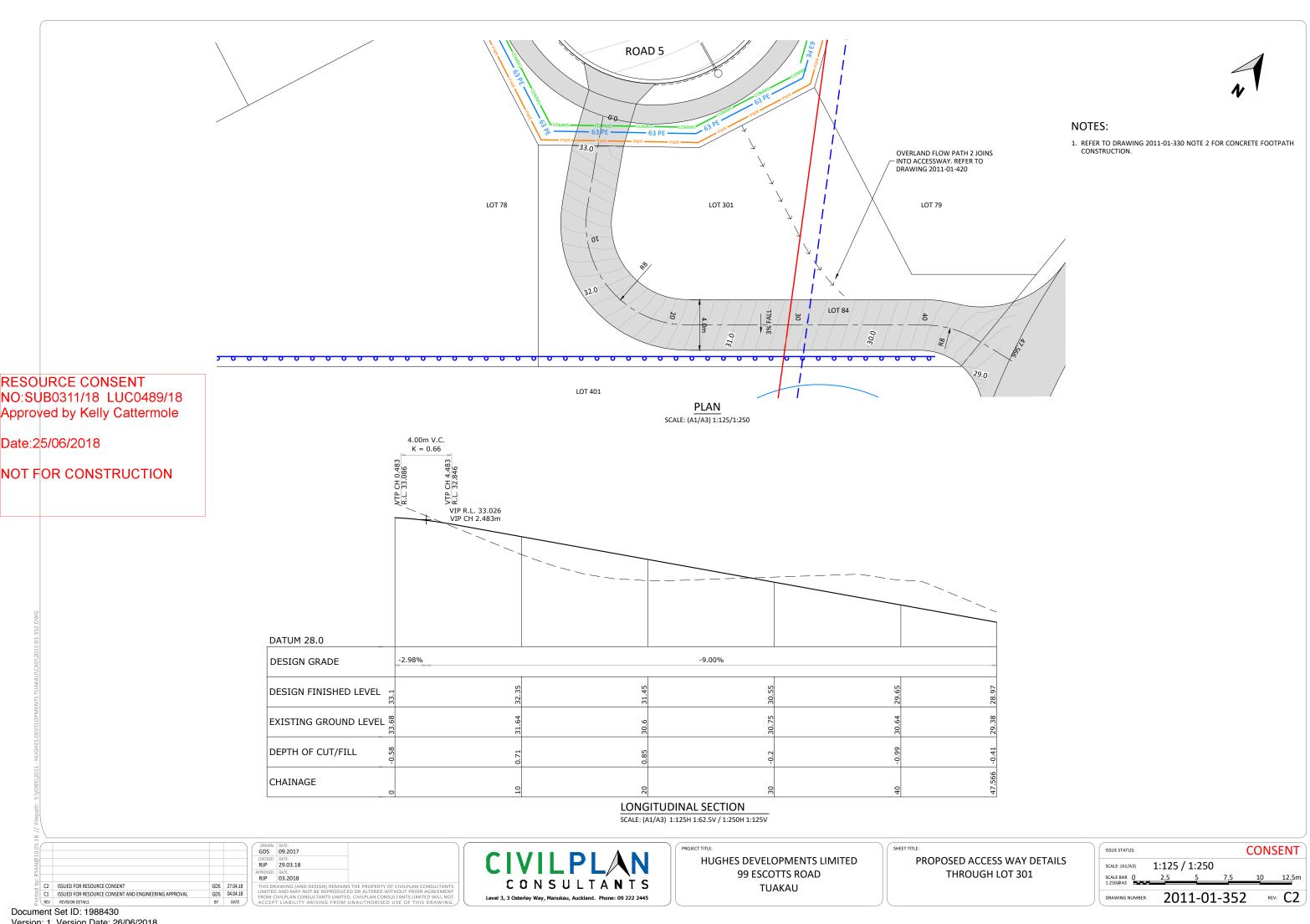
HUGHES DEVELOPMENTS LIMITED

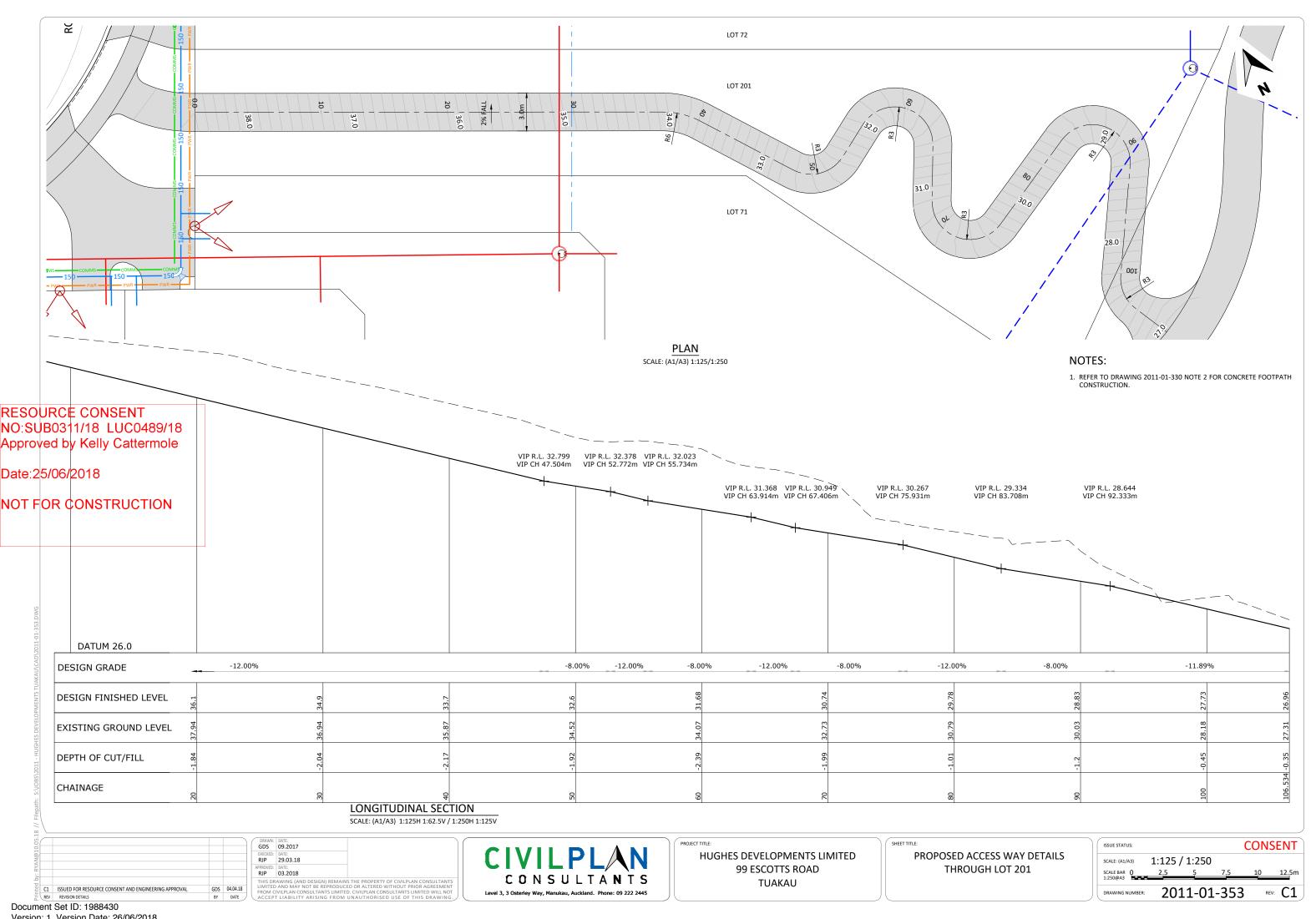
99 ESCOTTS ROAD TUAKAU

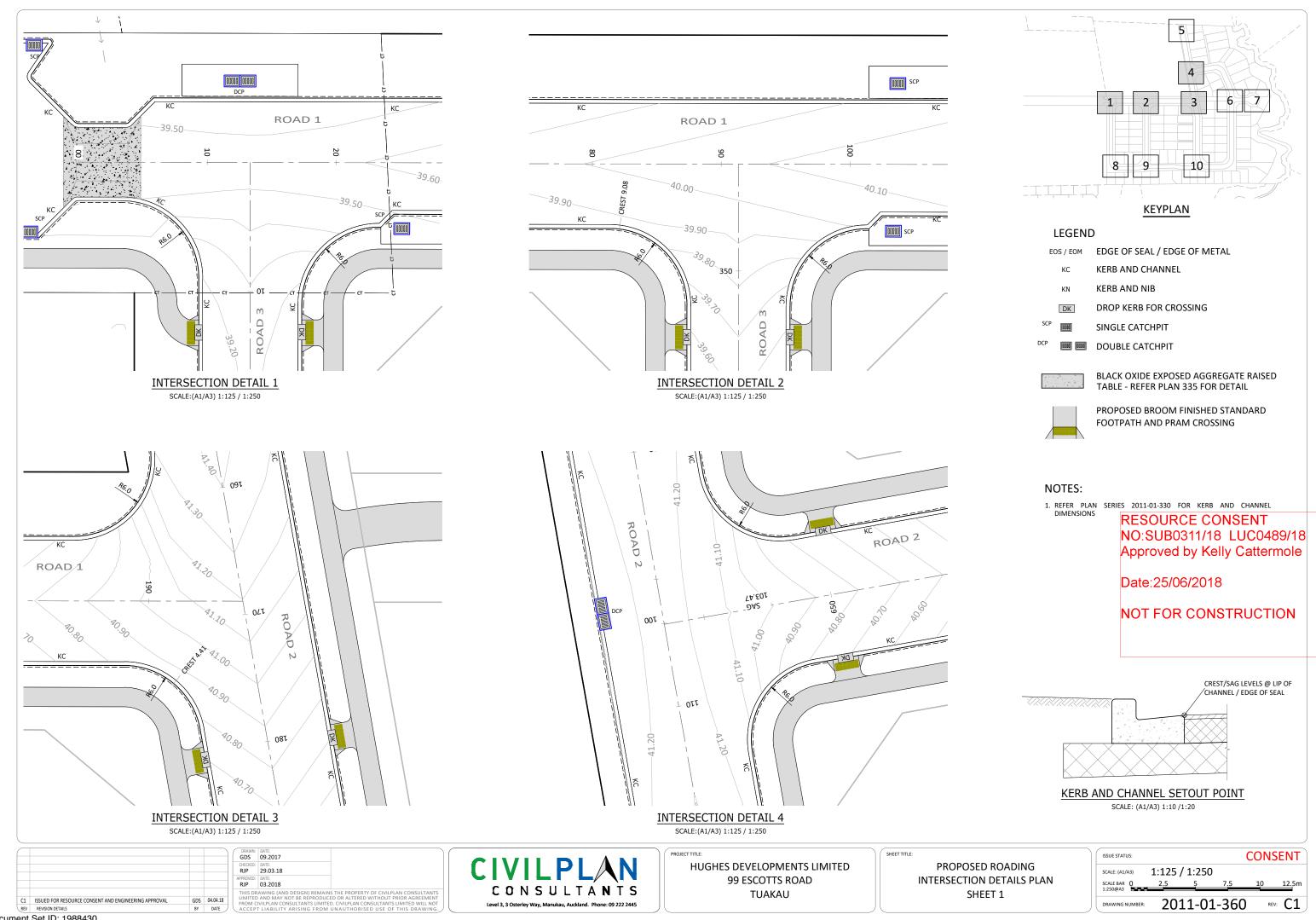
PROPOSED ACCESS LOT 202 DETAILS

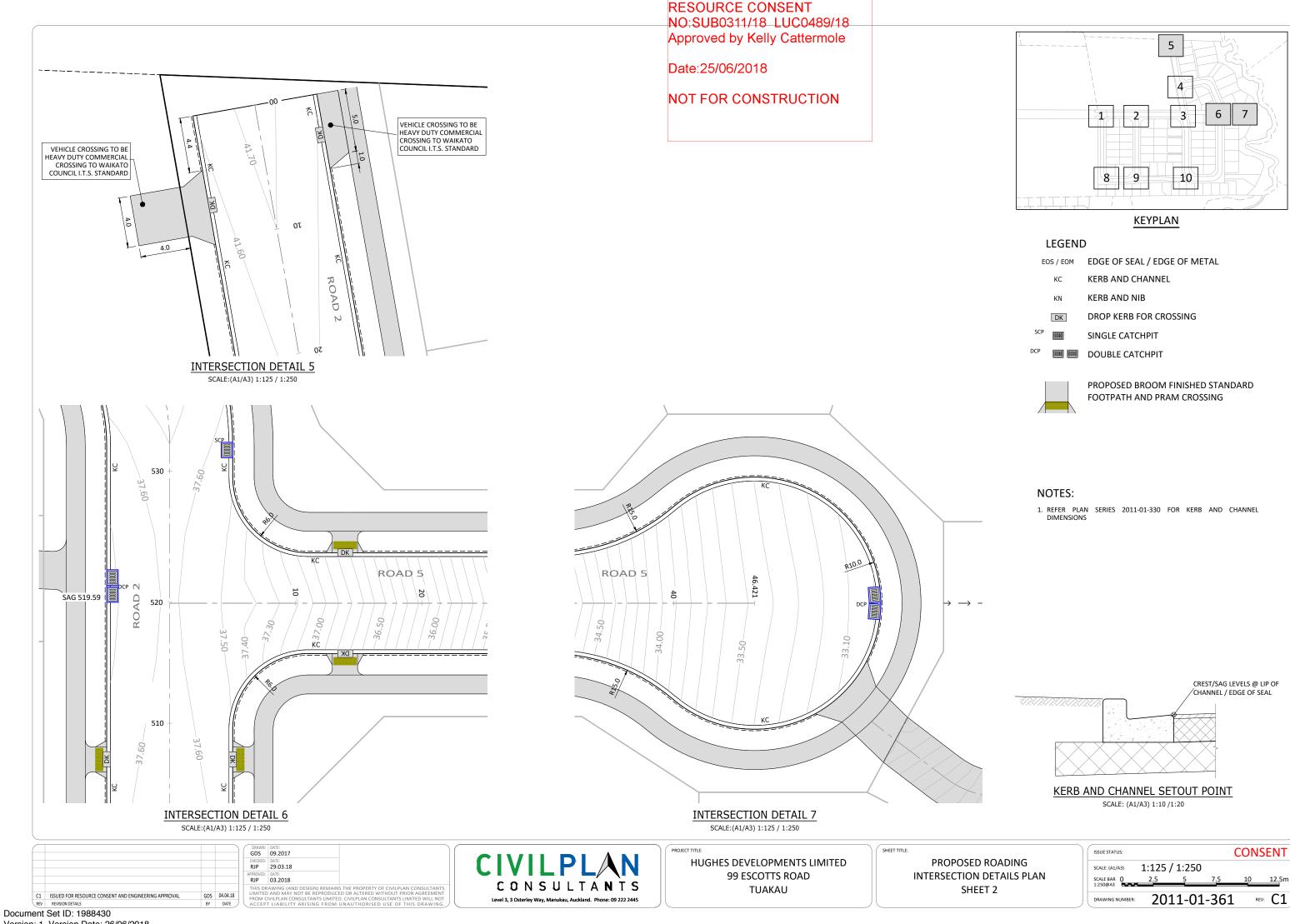
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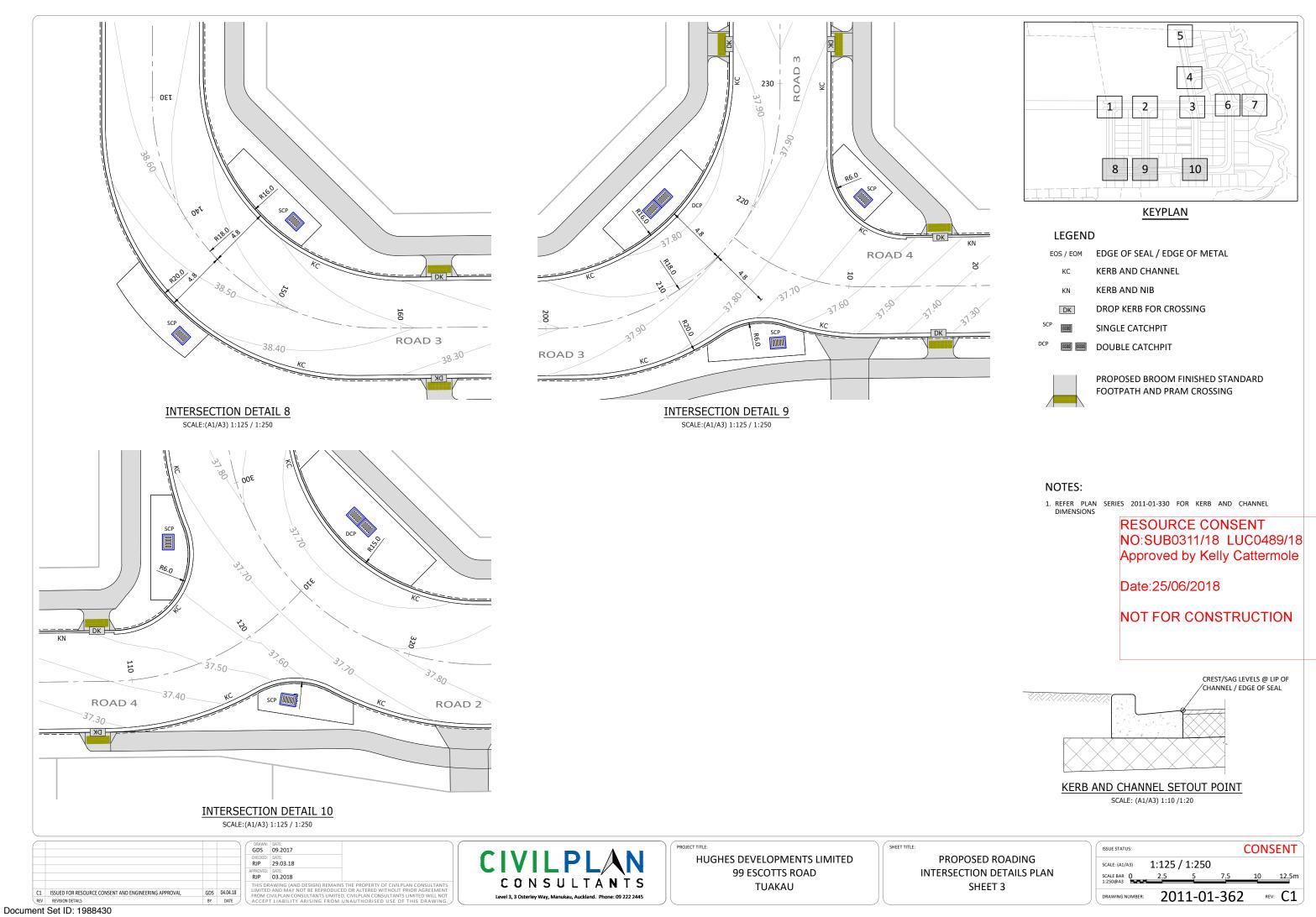
C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL REV REVISION DETAILS Document Set ID: 1988430 Version: 1, Version Date: 26/06/2018

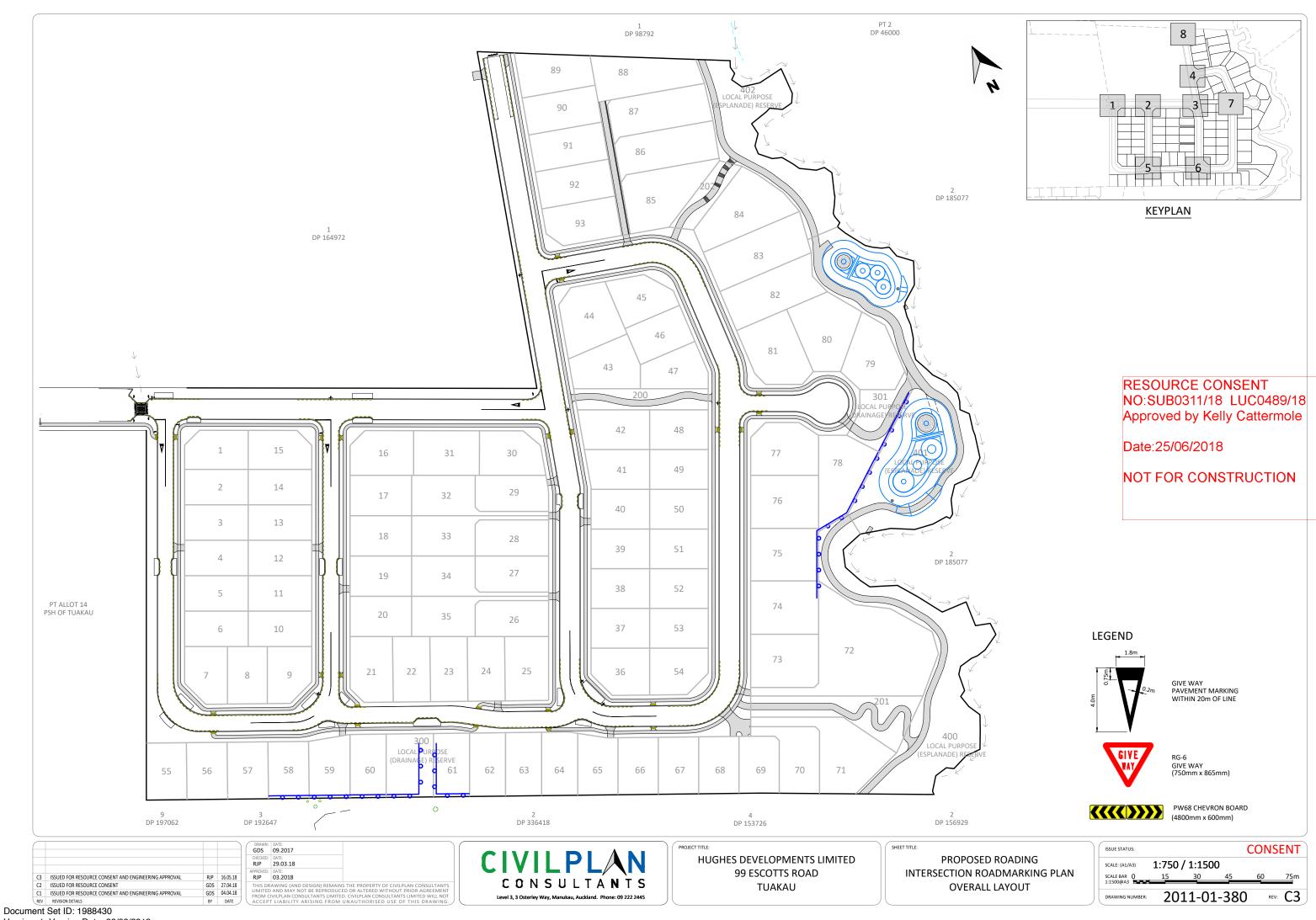


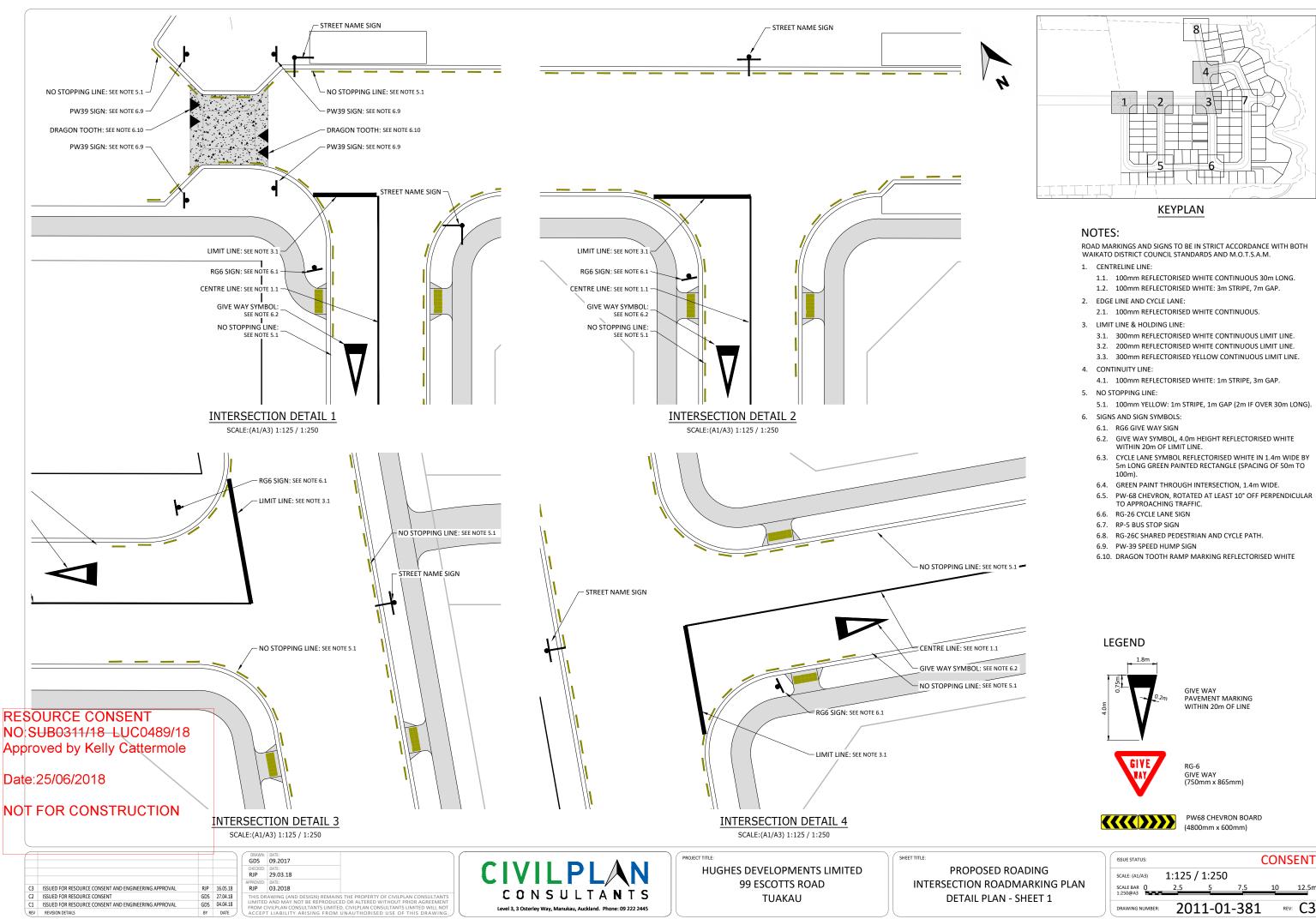


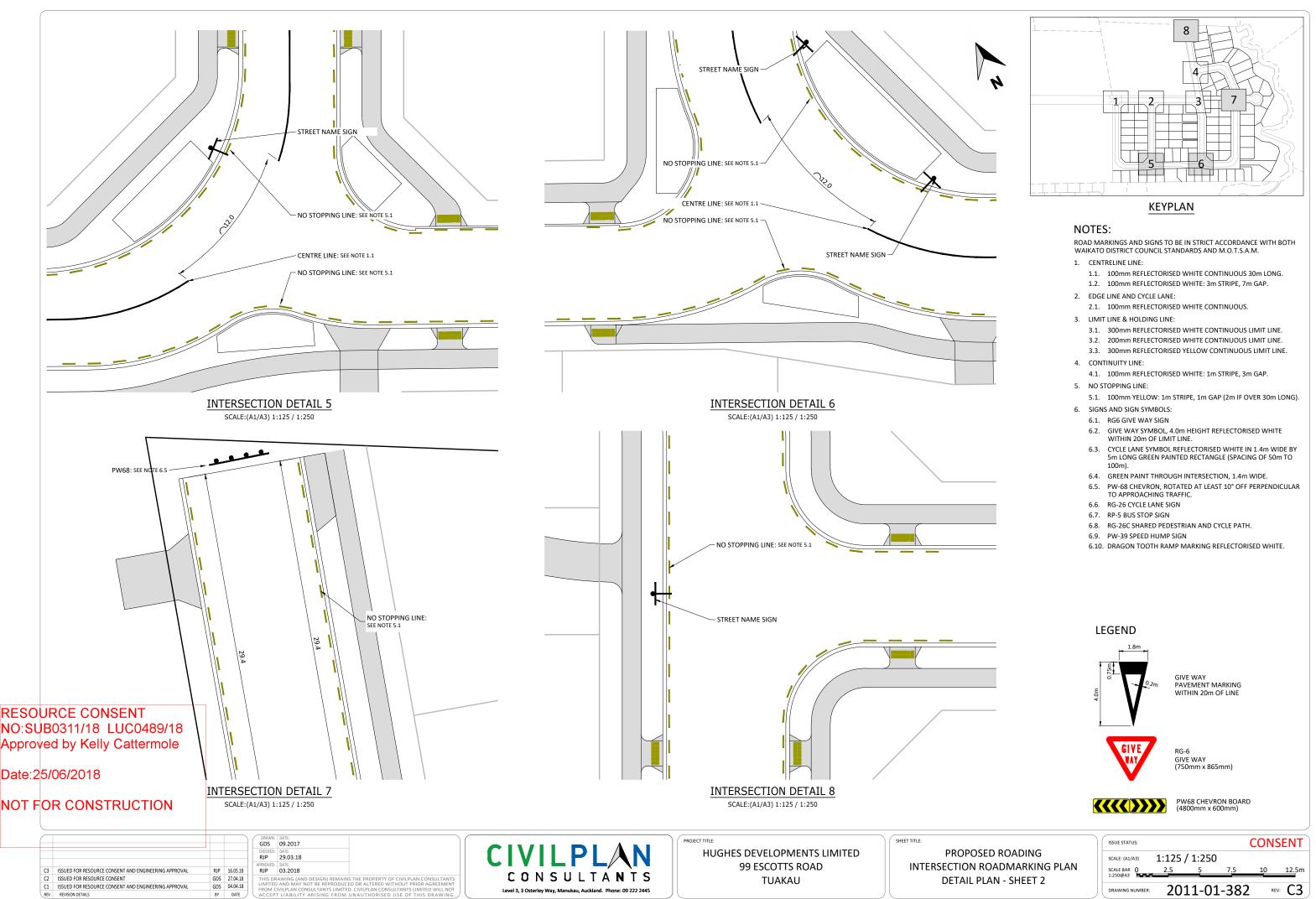


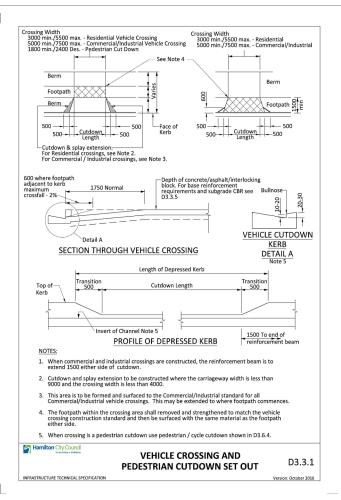


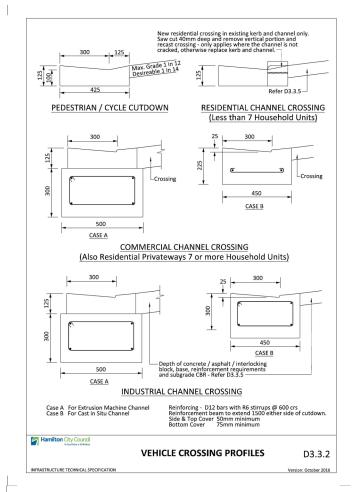


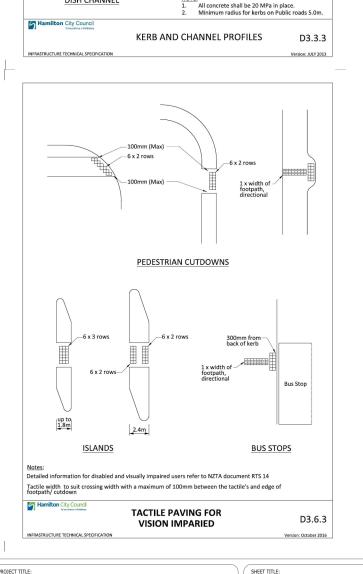


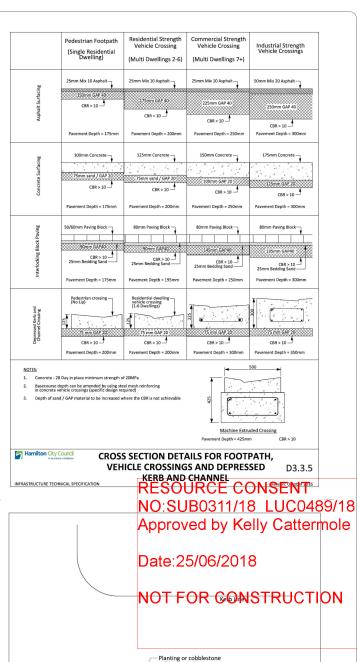


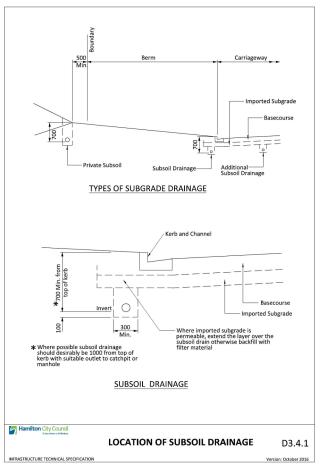


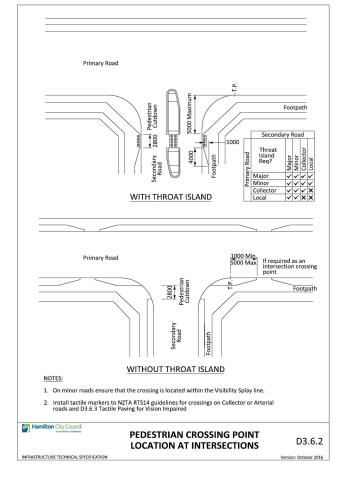


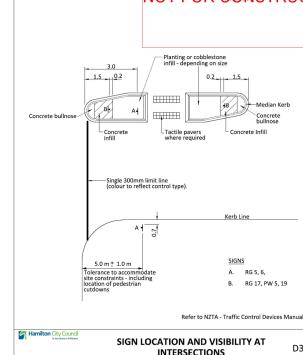














CONSULTANTS

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

REFER TO DRAWING SERIES 330 FOR VERTICAL KERB AND CHANNEL DETAILS

VERTICAL KERB & CHANNEL

TYPE A - (Cast Insitu)

R6 @ 600 crs 3 / D12 50 bottom cover 75 end cover HEAVY DUTY KERB & CHANNEL E.G. Tight Radius K & C usage Narrow Carriage

300

MEDIAN KERB

EDGE RESTRAINT - (Parallel to Travel)

TYPE B - (Pinned to Pavement)

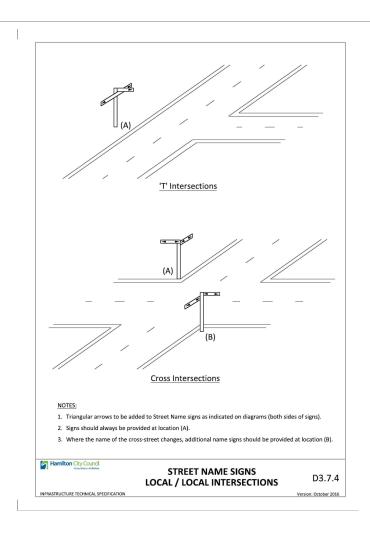
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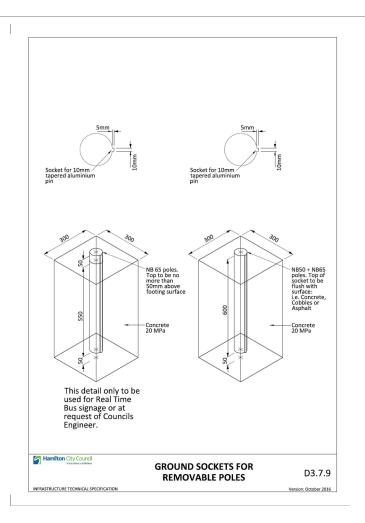
MOUNTABLE KERB & CHANNEL

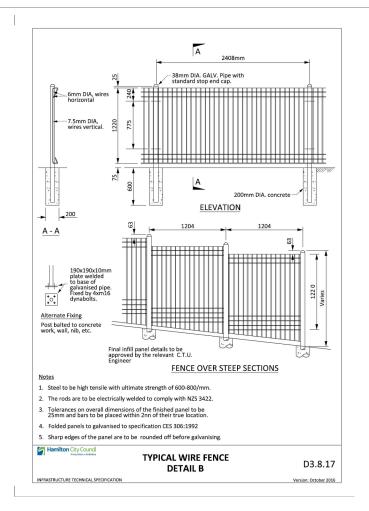
ROADING STANDARD DETAILS SHEET 1

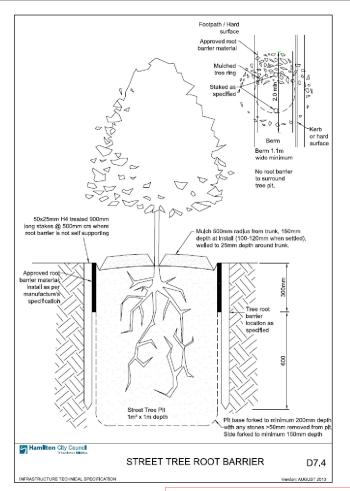
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D3.7.1



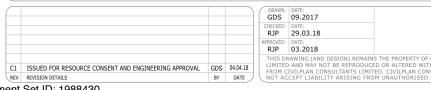






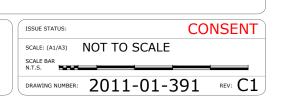
Date: 25/06/2018

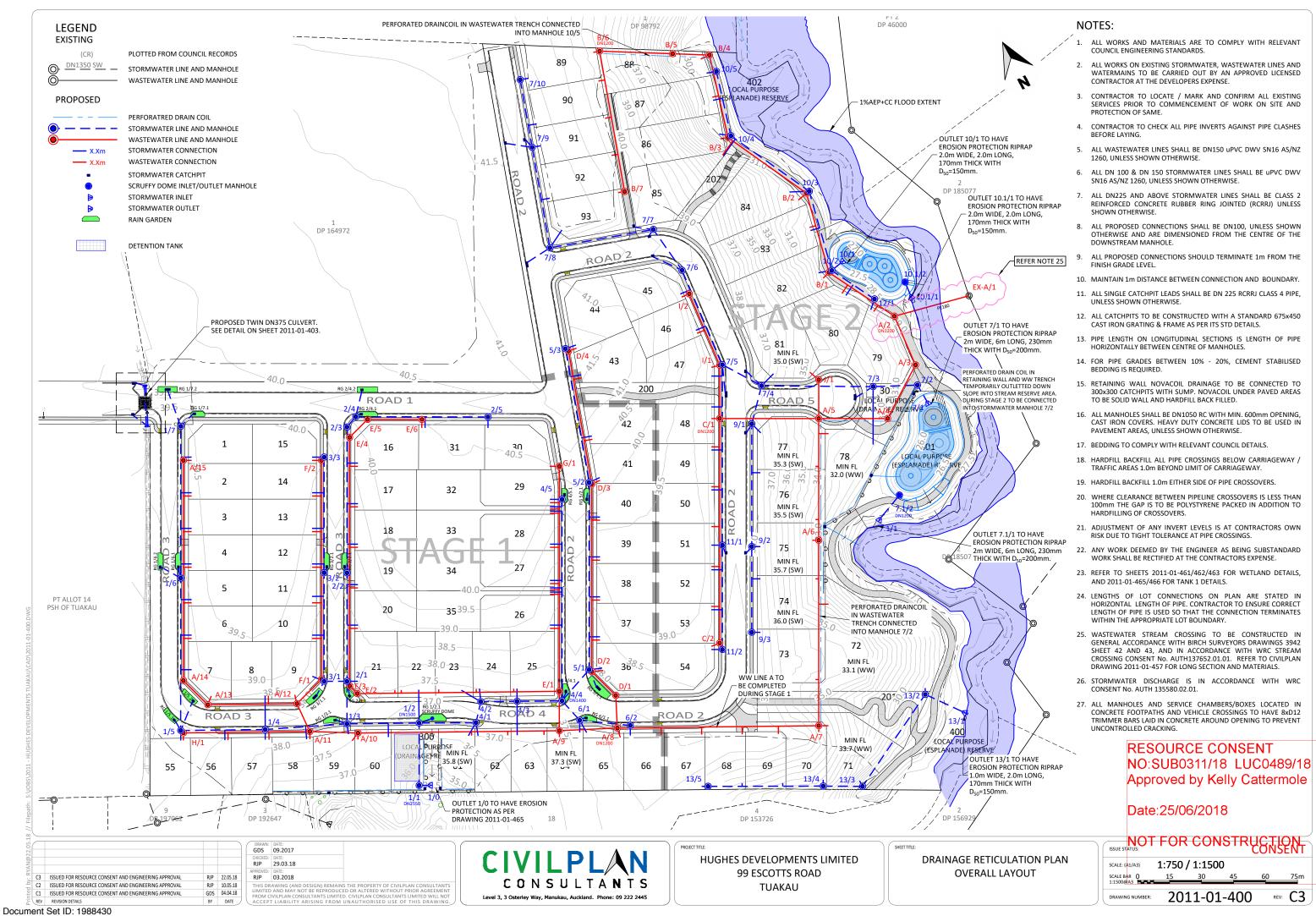
NOT FOR CONSTRUCTION

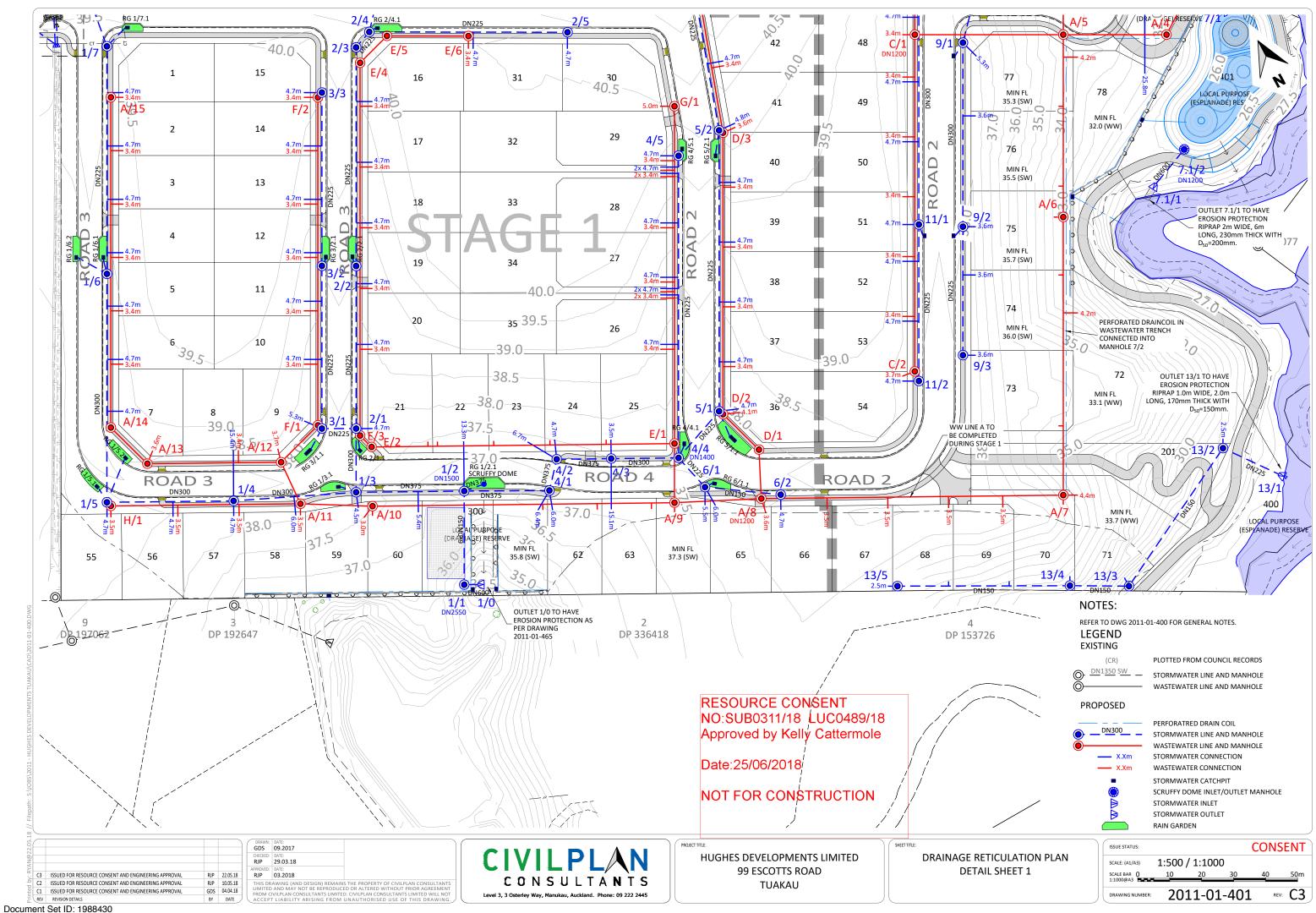


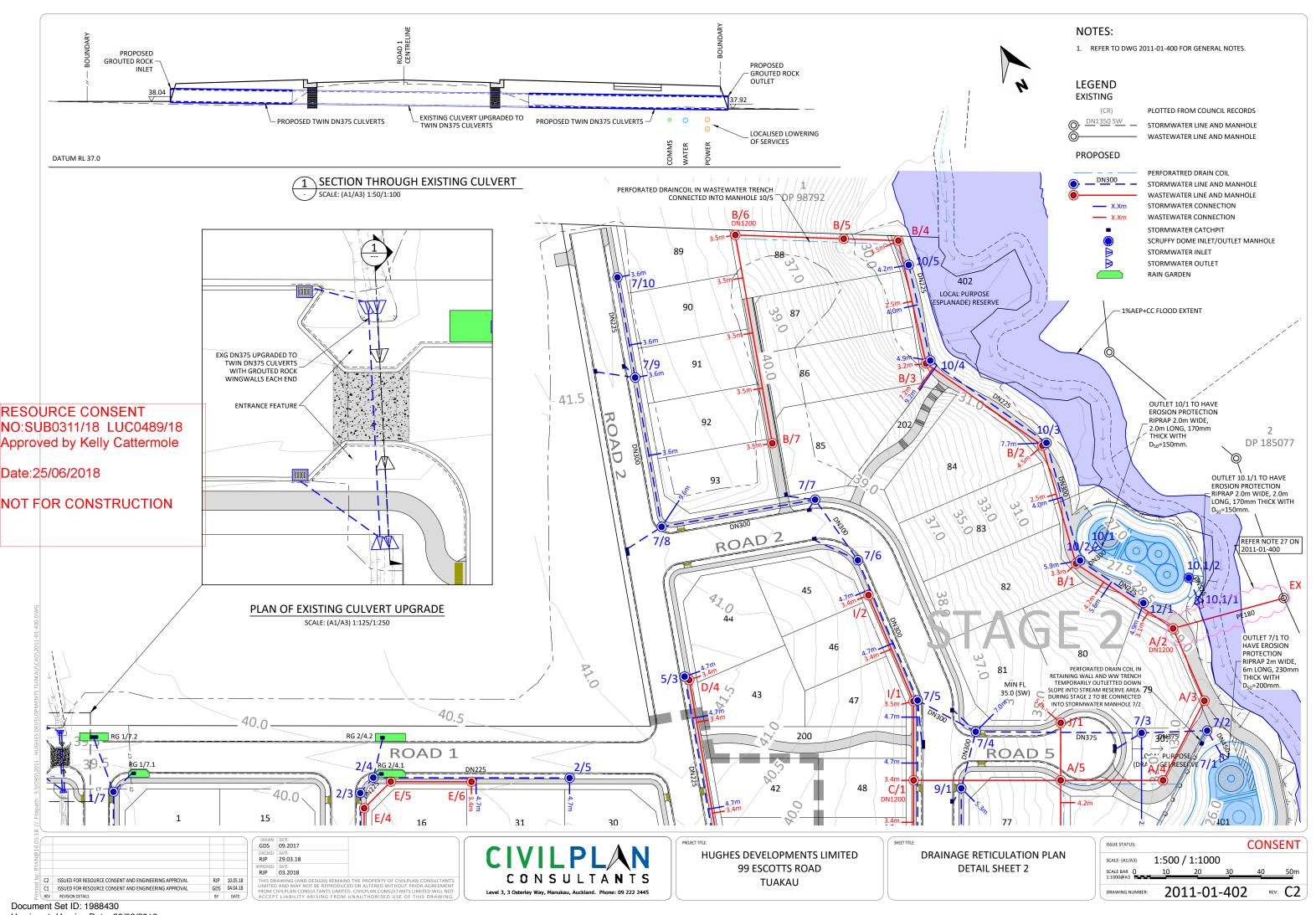
CIVILPLAN
CONSULTANTS
Level 3, 3 Osterley Way, Manukau, Auckland. Phone: 09 222 2445

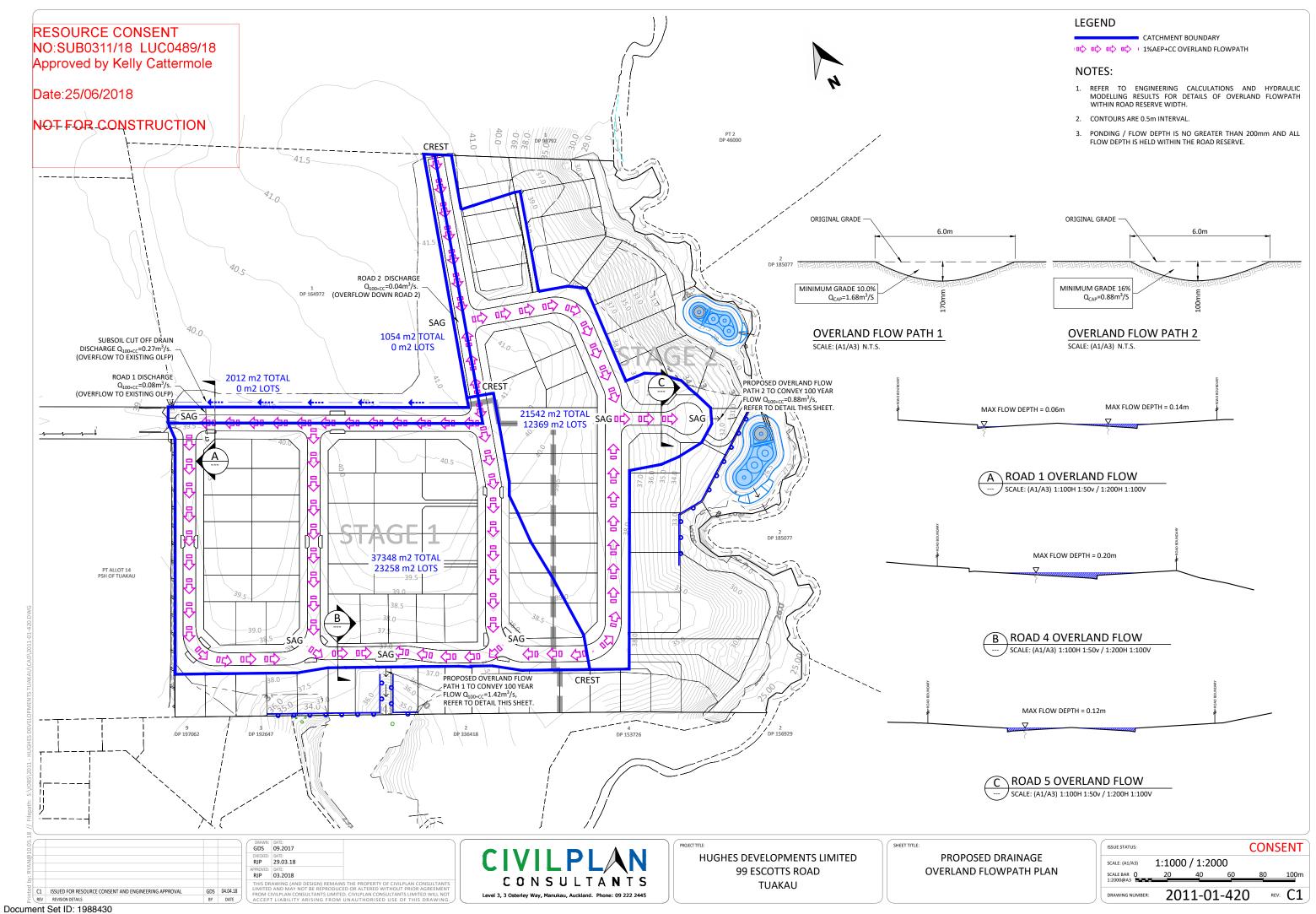
HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU ROADING STANDARD DETAILS SHEET 2











Date:25/06/2018

NOT FOR CONSTRUCTION

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT
- 4. CONTRACTOR TO ENSURE THAT ALL STORMWATER LOT CONNECTIONS WILL NOT CLASH WITH THE ADJACENT PROPOSED WASTEWATER LINE. THIS MAY MEAN LAYING CONNECTIONS AT AN ANGLE TO OTHER THAN 45 DEGREES TO AVOID CLASHES.

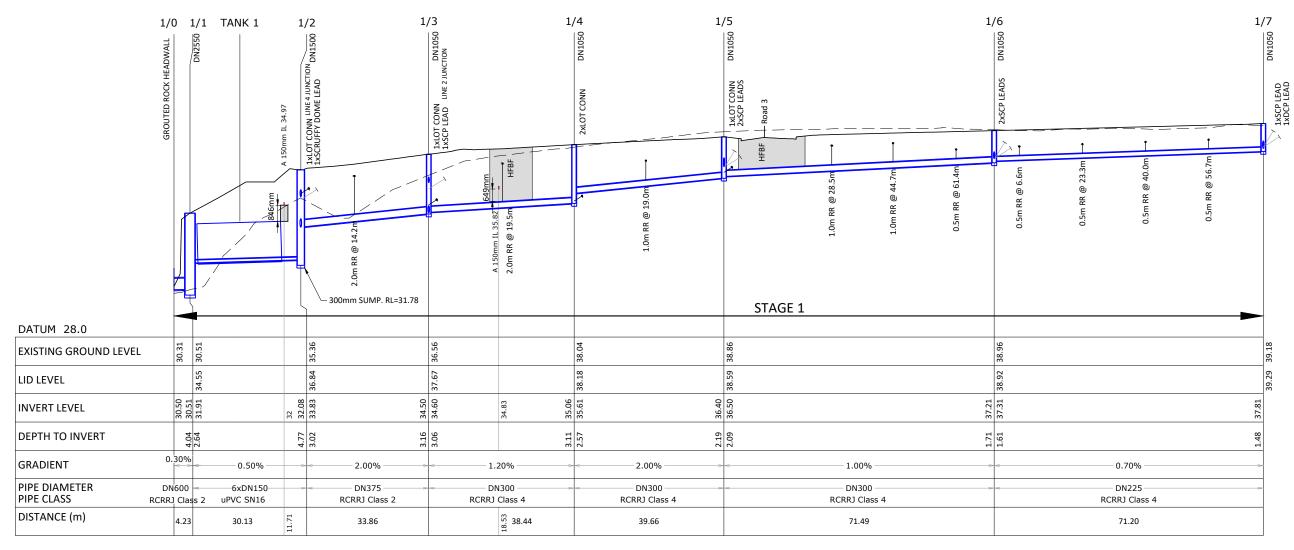


PROPOSED LOT CONNECTIONS

> PROPOSED CATCHPIT OR RAIN GARDEN CONNECTION

PROPOSED HARDFILL BACKFILL

3.12m CASCADE CASCADE DROP DROP



LINE 1

GDS 09.2017 RJP 29.03.18 C3 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
C2 ISSUED FOR RESOURCE CONSENT RJP 03.2018 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
REV REVISION DETAILS GDS 04.04.18

CIVILPLAN

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED DRAINAGE STORMWATER LONGITUDINAL SECTIONS SHEET 1

CONSENT ISSUE STATUS: 1:500H 1:100V / 1:1000H 1:200V SCALE: (A1/A3) 2011-01-430

Date: 25/06/2018

NOT FOR CONSTRUCTION

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT
- 4. CONTRACTOR TO ENSURE THAT ALL STORMWATER LOT CONNECTIONS WILL NOT CLASH WITH THE ADJACENT PROPOSED WASTEWATER LINE. THIS MAY MEAN LAYING CONNECTIONS AT AN ANGLE TO OTHER THAN 45 DEGREES TO AVOID CLASHES.



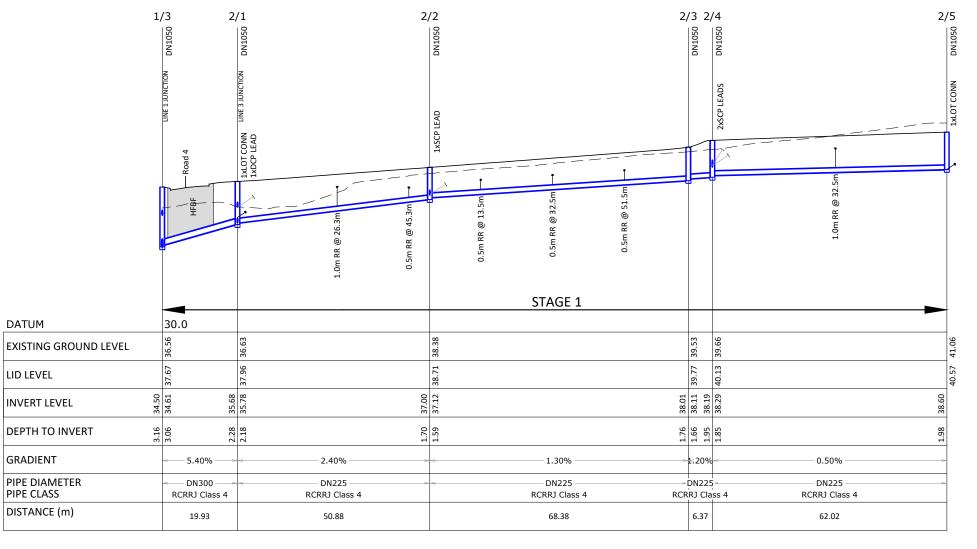
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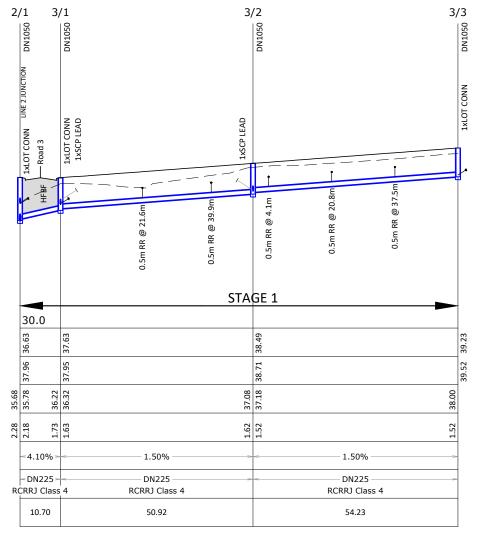
PROPOSED HARDFILL BACKFILL

PROPOSED LOT CONNECTIONS

PROPOSED CATCHPIT OR RAIN GARDEN CONNECTION

3.12m CASCADE CASCADE DROP DROP





LINE 2

LINE 3

GDS 09.2017 29.03.18 RJP 03.2018 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

CIVILPLAN

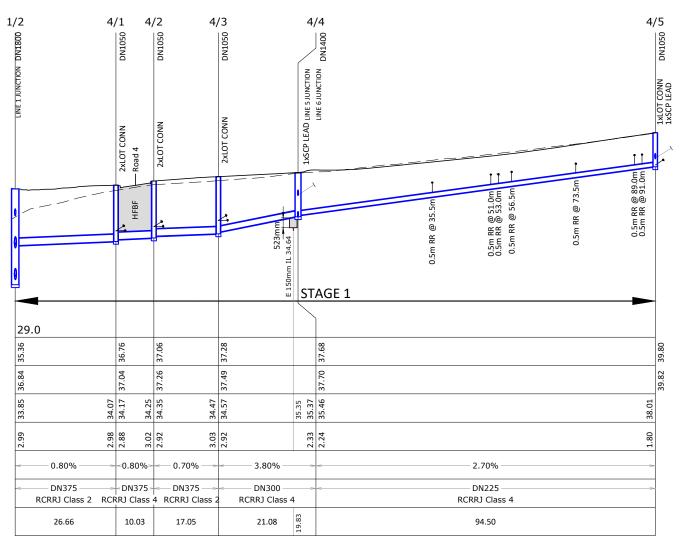
HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED DRAINAGE STORMWATER LONGITUDINAL SECTIONS SHEET 2

CONSENT ISSUE STATUS: 1:500H 1:100V / 1:1000H 1:200V SCALE: (A1/A3) 2011-01-431 REV: C1

Date:25/06/2018

NOT FOR CONSTRUCTION



LINE 4

| DRAWN: DATE: DATE: DATE: DATE: DRAWN: DATE: DATE: DATE: DATE: DATE: DATE: DRAWN: DATE: DATE





HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU PROPOSED DRAINAGE STORMWATER LONGITUDINAL SECTIONS SHEET 3 PROPOSED HARDFILL BACKFILL

PROPOSED LOT CONNECTIONS

PROPOSED CATCHPIT OR RAIN GARDEN CONNECTION

3.12m
CASCADE DROP

CASCADE DROP

PROPOSED GROUND LINE

LEGEND

---- Existing ground line

NOTES

1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.

2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE

3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT

4. CONTRACTOR TO ENSURE THAT ALL STORMWATER LOT CONNECTIONS WILL NOT CLASH WITH THE ADJACENT PROPOSED WASTEWATER LINE. THIS MAY MEAN LAYING CONNECTIONS AT AN ANGLE TO OTHER THAN

45 DEGREES TO AVOID CLASHES.

LENGTH OF PIPE IS USED SO THAT THE CONNECTION

TERMINATES WITHIN THE APPROPRIATE LOT

| ISSUE STATUS: CONSENT | SCALE: (A1/A3) 1:500H 1:100V / 1:1000H 1:200V | SCALE BAR | N.T.S. | DRAWING NUMBER: 2011-01-432 | REV: C1

Date:25/06/2018

NOT FOR CONSTRUCTION

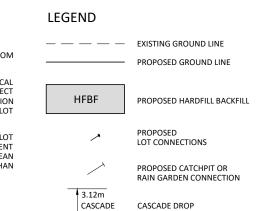
NOTES

4/4

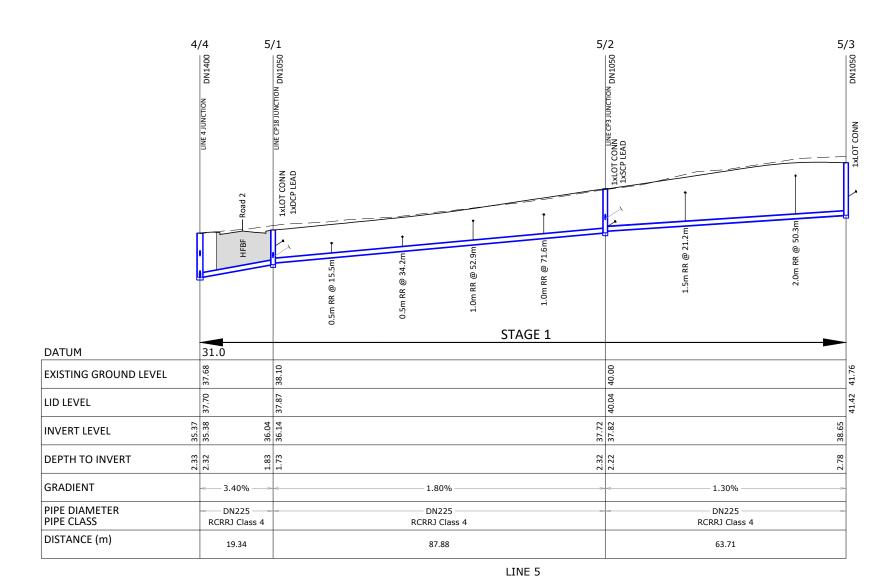
6/1

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT BOUNDARY.
- CONTRACTOR TO ENSURE THAT ALL STORMWATER LOT CONNECTIONS WILL NOT CLASH WITH THE ADJACENT PROPOSED WASTEWATER LINE. THIS MAY MEAN LAYING CONNECTIONS AT AN ANGLE TO OTHER THAN 45 DEGREES TO AVOID CLASHES.

6/2



DROP



2.33 35.37

2.33 35.37

2.33 35.37

2.32 35.38

2.32 35.38

2.30 35.53

37.70 37.68

DN1

SALOT CONN

SALOT CONN

17.64

17.64

17.64

17.64

17.64

17.64

DN1

SALOT CONN

DN1

LINE 6

C2 ISSUED FOR RESOURCE CONSENT GDS 27,04.18
C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL GDS 04,04.18
REV REVISION DETAILS BY DATE

DRAWN: DATE:

GDS 09.2017

CHECKED: DATE:

RJP 29.03.18

PAPROVED: DATE:

RJP 03.2018

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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU PROPOSED DRAINAGE STORMWATER LONGITUDINAL SECTIONS SHEET 4

LEGEND NOTES 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES. ---- Existing ground line 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE RESOURCE CONSENT PROPOSED GROUND LINE NO:SUB0311/18 LUC0489/18 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION Approved by Kelly Cattermole HFBF PROPOSED HARDFILL BACKFILL TERMINATES WITHIN THE APPROPRIATE LOT Date:25/06/2018 4. CONTRACTOR TO ENSURE THAT ALL STORMWATER LOT CONNECTIONS WILL NOT CLASH WITH THE ADJACENT PROPOSED WASTEWATER LINE. THIS MAY MEAN LAYING CONNECTIONS AT AN ANGLE TO OTHER THAN PROPOSED LOT CONNECTIONS PROPOSED CATCHPIT OR RAIN GARDEN CONNECTION NOT FOR CONSTRUCTION 45 DEGREES TO AVOID CLASHES. 3.12m CASCADE CASCADE DROP DROP 7/1 7/2 7/3 7/5 7/6 7/7 7/9 7/10 STABILISED BEDDING STAGE 2 DATUM 23.0 EXISTING GROUND LEVEL 41.08 LID LEVEL 25.29 INVERT LEVEL 2.30 DEPTH TO INVERT ...79 GRADIENT & PIPE SIZES DN450RCRRJ Class 2 DN375RCRRJ Class 2 5.00% _____ 0.50% ____ -DN225RCRRJ Class 4-- DN300RCRRJ Class 4 52.39 DISTANCE (m) 20.89 48.13 23.43 47.90 32.14 LINE 7 **CONSENT** ISSUE STATUS: CIVILPLAN **HUGHES DEVELOPMENTS LIMITED** PROPOSED DRAINAGE RJP 29.03.18 SCALE: (A1/A3) 1:500H 1:100V / 1:1000H 1:200V 99 ESCOTTS ROAD STORMWATER LONGITUDINAL SECTIONS RJP 03.2018 CONSULTANTS TUAKAU SHEET 5 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL REV REVISION DETAILS 2011-01-434 REV: C1

Date:25/06/2018

NOT FOR CONSTRUCTION

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT BOUNDARY.
- 4. CONTRACTOR TO ENSURE THAT ALL STORMWATER LOT CONNECTIONS WILL NOT CLASH WITH THE ADJACENT PROPOSED WASTEWATER LINE. THIS MAY MEAN LAYING CONNECTIONS AT AN ANGLE TO OTHER THAN 45 DEGREES TO AVOID CLASHES.



HFBF

— — — EXISTING GROUND LINE

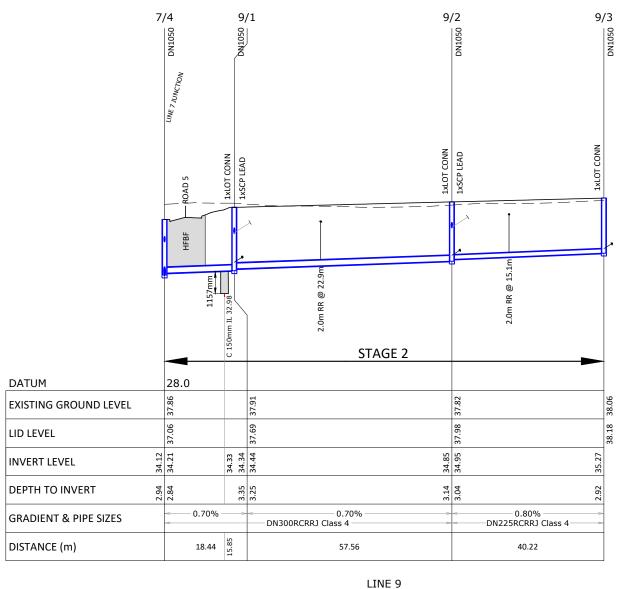
PROPOSED GROUND LINE

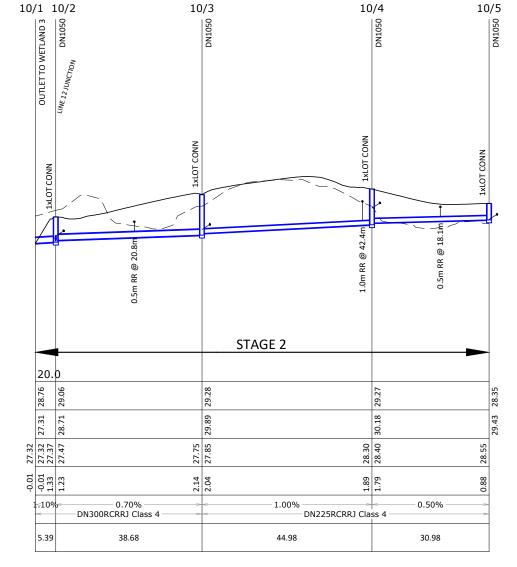
PROPOSED LOT CONNECTIONS

PROPOSED CATCHPIT OR RAIN GARDEN CONNECTION

PROPOSED HARDFILL BACKFILL

3.12m CASCADE CASCADE DROP DROP





LINE 10

DRAWN: DATE:
GDS 09.2017

CHECKED: DATE:
RIP 29.03.18

APPROVIED. DATE:
RIP 03.2018

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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED DRAINAGE STORMWATER LONGITUDINAL SECTIONS SHEET 6 SCALE (A1/A3) 1:500H 1:100V / 1:1000H 1:200V SCALE BAR N.T.S. DRAWING NUMBER: 2011-01-435 REV: C1

Date: 25/06/2018

NOT FOR CONSTRUCTION

DATUM

LID LEVEL

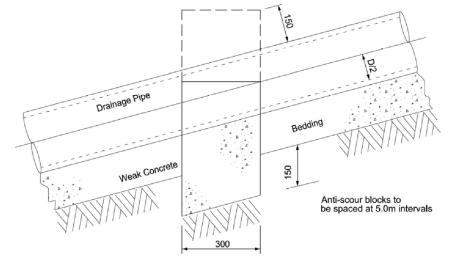
INVERT LEVEL

DISTANCE (m)

Document Set ID: 1988430

Version: 1, Version Date: 26/06/2018

DEPTH TO INVERT



ANCHOR BLOCK DETAILS

SCALE: (A1/A3) N.T.S.

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT
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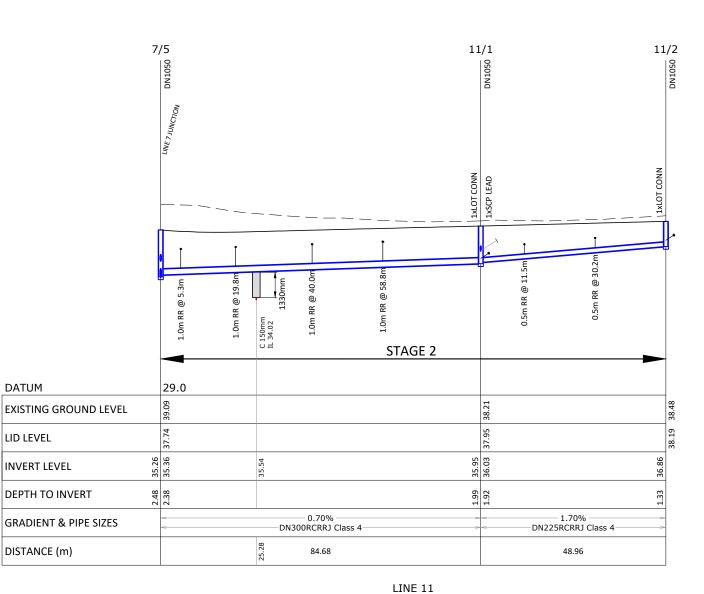
HFBF

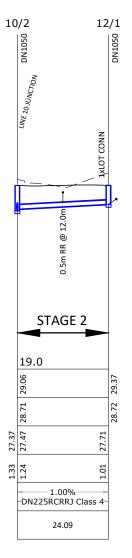
PROPOSED LOT CONNECTIONS

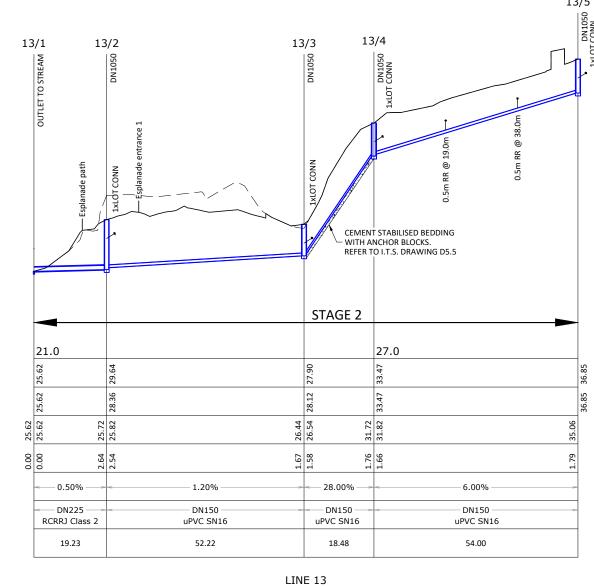
PROPOSED CATCHPIT OR RAIN GARDEN CONNECTION

PROPOSED HARDFILL BACKFILL

3.12m CASCADE CASCADE DROP DROP







LINE 12

GDS 09.2017 29.03.18 RJP 03.2018 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED DRAINAGE STORMWATER LONGITUDINAL SECTIONS SHEET 7

CONSENT ISSUE STATUS: 1:500H 1:100V / 1:1000H 1:200V SCALE: (A1/A3) 2011-01-436

Date: 25/06/2018

NOT FOR CONSTRUCTION



- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT BOLINDARY

LEGEND

— — — — EXISTING GROUND LINE

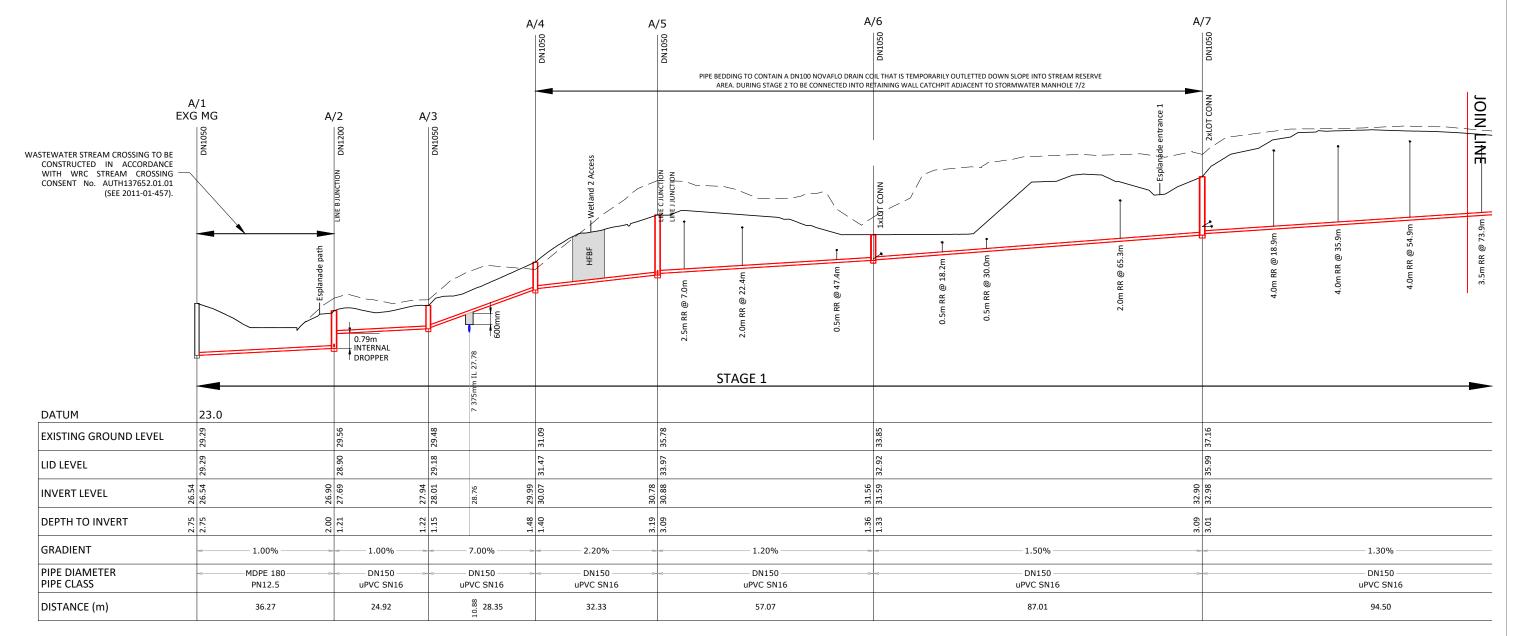
PROPOSED GROUND LINE

FBF PROPOSED HARDFILL BACKFILL

HFBF

PROPOSED LOT CONNECTIONS

3.12m INTERNAL INTERNAL DROP CONNECTION DROPPER



LINE A

DRAWN: DATE
MRM 11.2017
GHECKED: DATE
RJP 29.03.18
APPROVED: DATE
RJP 29.03.18
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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU PROPOSED DRAINAGE
WASTEWATER LONGITUDINAL SECTIONS
SHEET 1

SCALE: (A1/A3) 1:500H 1:100V / 1:1000H 1:200V SCALE BAR LONG SCALE

Date:25/06/2018

NOT FOR CONSTRUCTION

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
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LEGEND

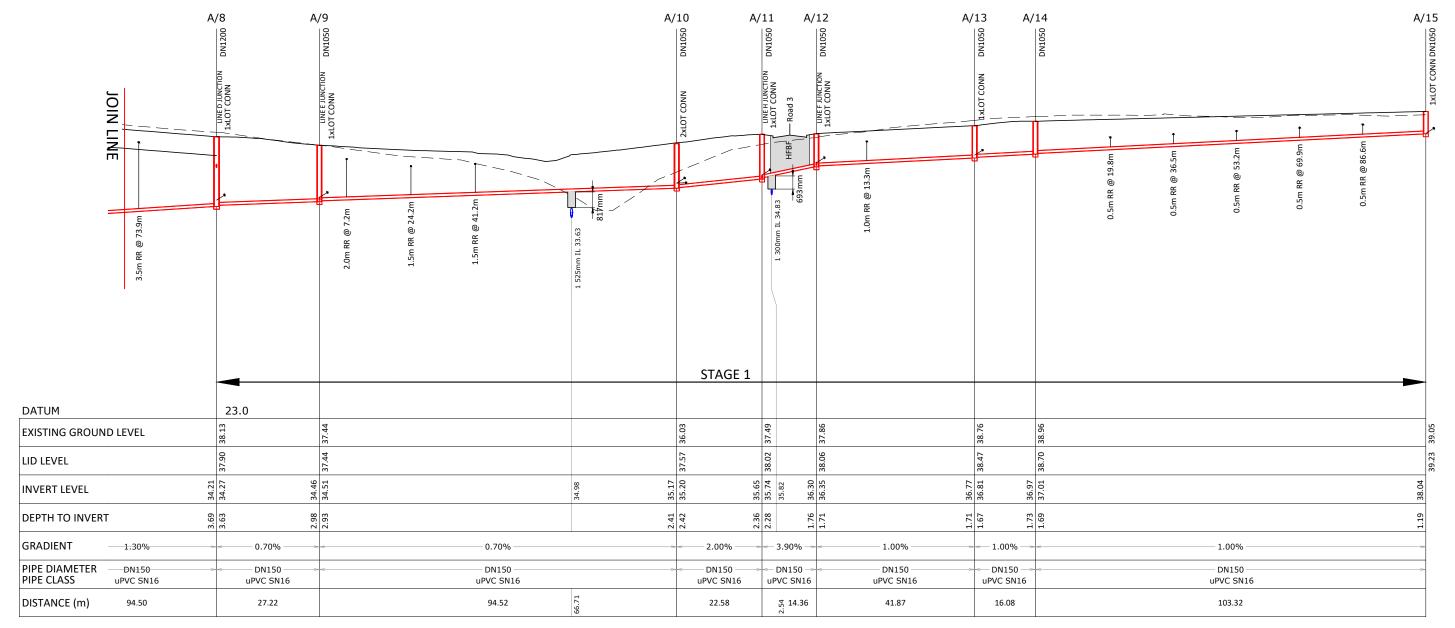
— — — EXISTING GROUND LINE
— PROPOSED GROUND LINE

HFBF

PROPOSED HARDFILL BACKFILL

PROPOSED LOT CONNECTIONS

3.12m INTERNAL INTERNAL DROP CONNECTION DROPPER



LINE A CONTINUED

| DRAWN: DATE: | MRR | 11.2017 | CHECKED: DATE: | RJP | 29.03.18 | RJP | 03.2018 | RJP | 03.20



HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED DRAINAGE
WASTEWATER LONGITUDINAL SECTIONS
SHEET 2

ISSUE STATUS: CONSENT

SCALE: (A1/A3) 1:500H 1:100V / 1:1000H 1:200V

SCALE BAR
N.T.S.

DRAWING NUMBER: 2011-01-451 REV: C2

Date: 25/06/2018

NOT FOR CONSTRUCTION

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT BOILINDARY

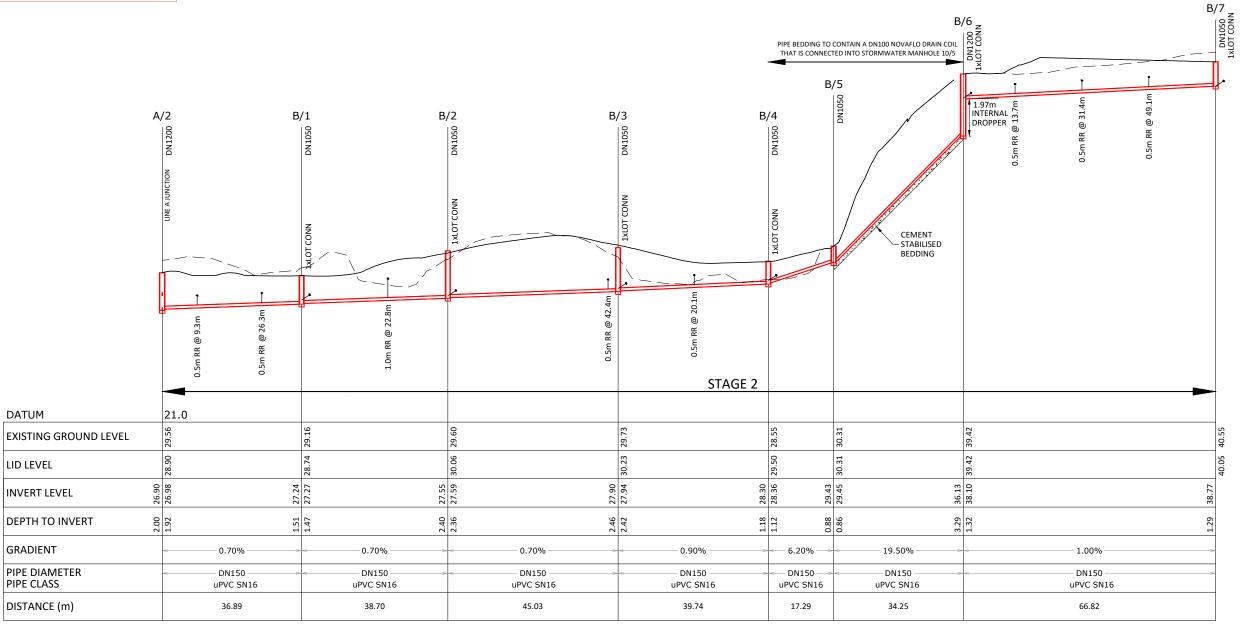


HFBF

PROPOSED LOT CONNECTIONS

PROPOSED HARDFILL BACKFILL

3.12m
INTERNAL INTERNAL DROP CONNECTION DROPPER



LINE B

DRAWN: DATE:

MRR 11.2017

OHCOZE) DATE:

RIP 29.03.18

APPROVED: DATE:

RIP 03.2018

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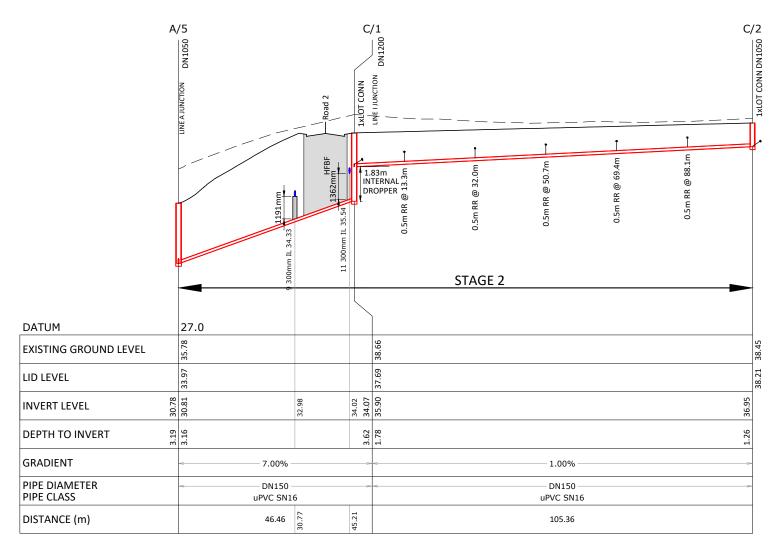
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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED DRAINAGE
WASTEWATER LONGITUDINAL SECTIONS
SHEET 3

Date:25/06/2018

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LINE C



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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

WASTEWATER LONGITUDINAL SECTIONS SHEET 4

LEGEND

HFBF

3.12m INTERNAL

DROPPER

---- Existing ground line

PROPOSED LOT CONNECTIONS

PROPOSED GROUND LINE

PROPOSED HARDFILL BACKFILL

INTERNAL DROP CONNECTION

NOTES

1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.

3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT

2. LOT CONNECTIONS TO TERMINATE 1m FROM

PROPOSED GROUND LINE

PROPOSED DRAINAGE

CONSENT ISSUE STATUS: SCALE: (A1/A3) 1:500H 1:100V / 1:1000H 1:200V 2011-01-453 REV: C1

Date: 25/06/2018

NOT FOR CONSTRUCTION

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT BOLINDARY



— — — EXISTING GROUND LINE

PROPOSED GROUND LINE

HFBF

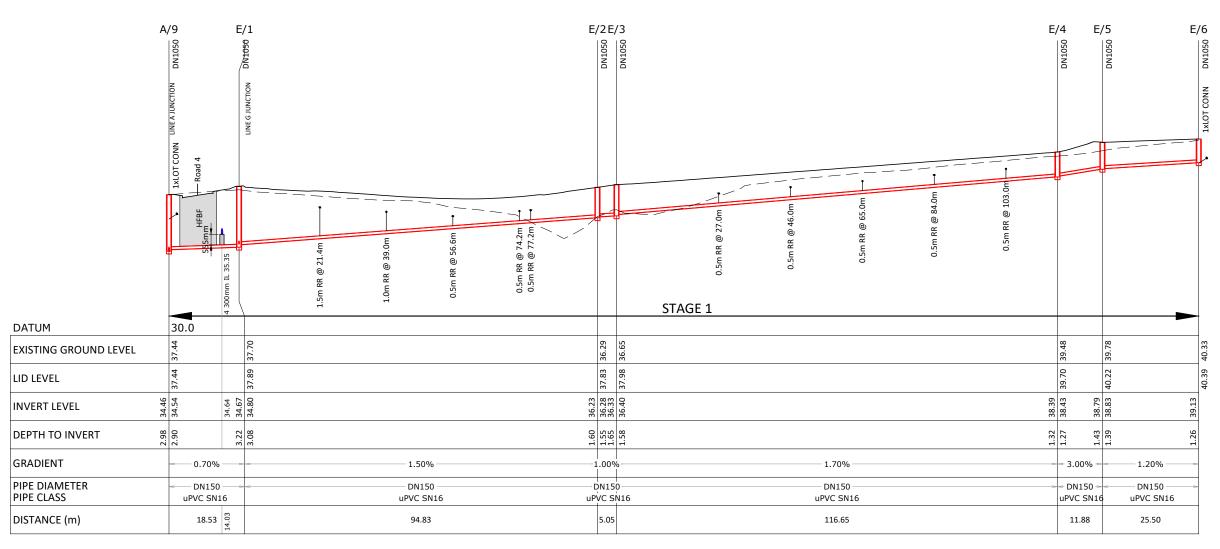
PROPOSED HARDFILL BACKFILL

>

PROPOSED LOT CONNECTIONS

3.12m INTERNAL DROPPER

INTERNAL DROP CONNECTION



LINE E

DRAWN: DATE:

MRR 11.2017

CHECKED DATE:

RIP 29.03.18

APPROVED: DATE:

RIP 03.2018

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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU PROPOSED DRAINAGE WASTEWATER LONGITUDINAL SECTIONS SHEET 5 SCALE: (A1/A3) 1:500H 1:100V / 1:1000H 1:200V SCALE BAR N.T.S.

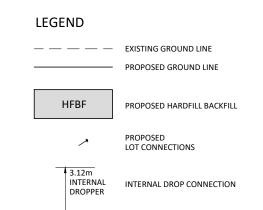
DRAWING NUMBER: 2011-01-454 REV: C1

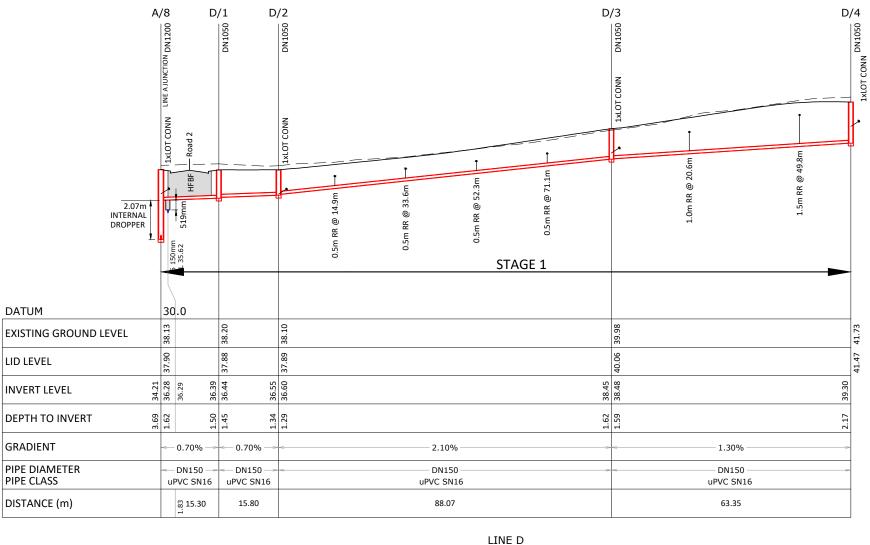
Date: 25/06/2018

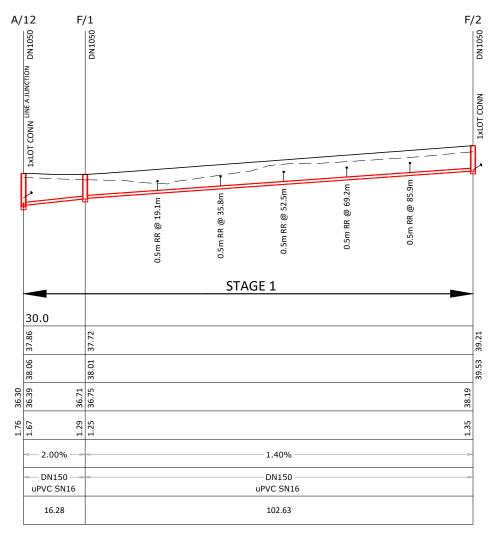
NOT FOR CONSTRUCTION

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT







LINE F

MRR 11.2017 RJP 29.03.18 RJP 03.2018 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
REV REVISION DETAILS

CIVILPLAN CONSULTANTS

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

PROPOSED DRAINAGE WASTEWATER LONGITUDINAL SECTIONS SHEET 6

CONSENT ISSUE STATUS: 1:500H 1:100V / 1:1000H 1:200V 2011-01-455 REV: C1

NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. LOT CONNECTIONS TO TERMINATE 1m FROM PROPOSED GROUND LINE
- 3. LENGTHS OF RAMP RISERS ARE STATED IN VERTICAL LENGTH OF PIPE. CONTRACTOR TO ENSURE CORRECT LENGTH OF PIPE IS USED SO THAT THE CONNECTION TERMINATES WITHIN THE APPROPRIATE LOT

LEGEND

HFBF

---- Existing ground line PROPOSED GROUND LINE

PROPOSED LOT CONNECTIONS

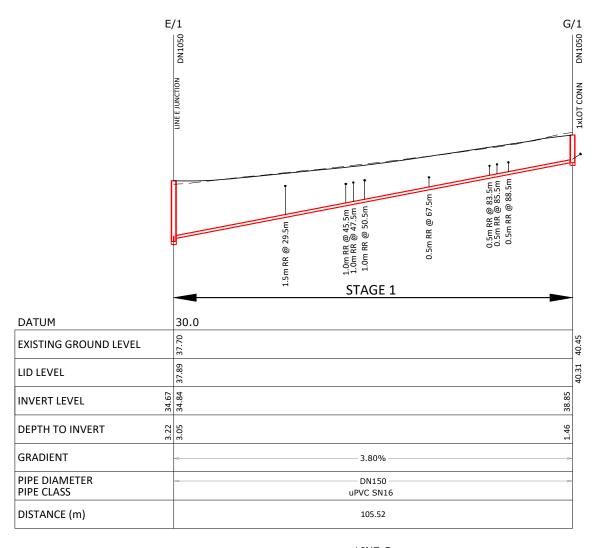
PROPOSED HARDFILL BACKFILL

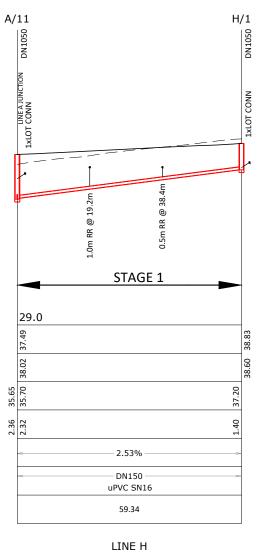
3.12m INTERNAL INTERNAL DROP CONNECTION DROPPER

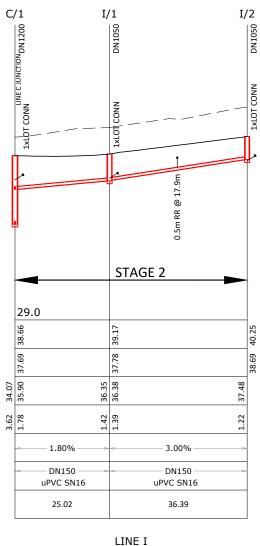
RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

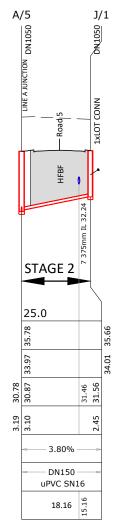
Date:25/06/2018

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LINE G

LINE J

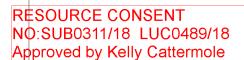
MRR 11.2017 RJP 29.03.18 RJP 03.2018 C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL REV REVISION DETAILS

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HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

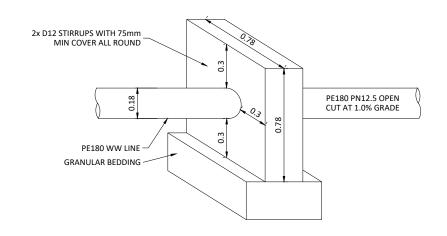
PROPOSED DRAINAGE WASTEWATER LONGITUDINAL SECTIONS SHEET 7

CONSENT ISSUE STATUS: 1:500H 1:100V / 1:1000H 1:200V 2011-01-456 REV: C1



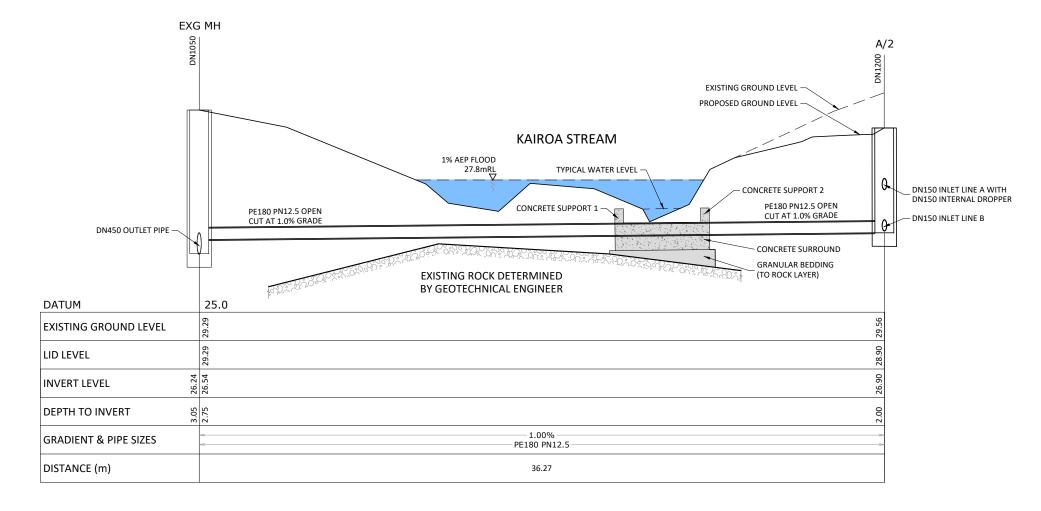
Date:25/06/2018

NOT FOR CONSTRUCTION



CONCRETE SUPPORT DETAIL

SCALE: (A1/A3) NOT TO SCALE



LEGEND

— — — EXISTING GROUND LINE

PROPOSED GROUND LINE

HFBF

PROPOSED HARDFILL BACKFILL

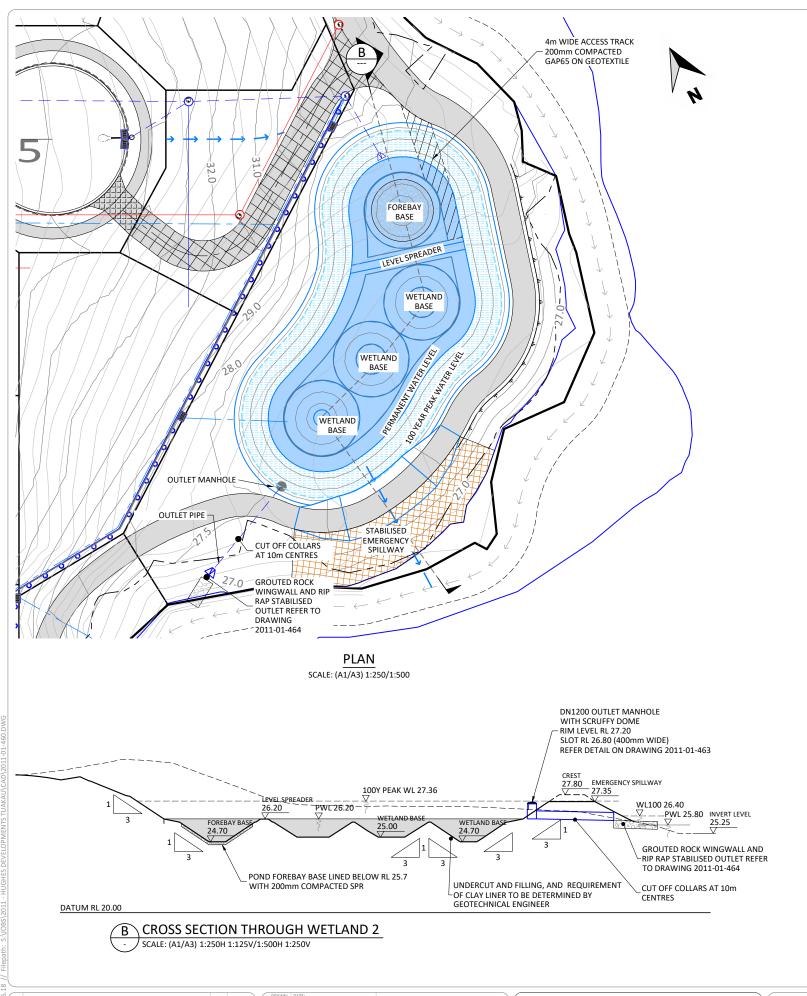
NOTES

- 1. REFER TO SHEET 2011-01-400 FOR GENERAL NOTES.
- 2. STREAM FLOOD LEVEL BASED ON BECA MODELLING COMPLETED IN OCTOBER 2017.
- 8. WASTEWATER STREAM CROSSING TO BE CONSTRUCTED IN ACCORDANCE WITH WRC STREAM CROSSING CONSENT No. AUTH137652.01.01.



CONSULTANTS
Level 3, 3 Osterley Way, Manukau, Auckland. Phone: 09 222 2445

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU WASTEWATER STREAM
CROSSING LONGITUDINAL SECTION



GDS 09.2017

RJP 03.2018

GDS 04.04.18

29.03.18

LEGEND



GRASS REINFORCED SPILLWAY (CIRTEX PYRAMAT OR SIMILAR APPROVED)

RIPR/

EXTENDED WATER LEVEL

NOTES

- 1. EXISTING CONTOURS ARE SHOWN AT 0.5m INTERVALS.
- 2. DESIGN CONTOURS ARE SHOWN AT 0.5m INTERVALS.
- 3. CONTOURS SHOWN ARE FINISHED SURFACE LEVELS.
- 4. SILT AND STORMWATER CONTROL IS TO BE IMPLEMENTED DAILY AND COMPLY WITH THE GENERAL SPECIFICATION.
- 5. THE CONTRACTOR MUST BE AWARE OF AND COMPLY WITH WAIKATO DISTRICT AND REGIONAL COUNCIL REQUIREMENTS FOR EARTHWORKS, AT ALL TIMES.
- 6. IT IS INTENDED THAT THE CONTRACTOR SHALL GRADE THE EARTHWORKS TO THE FINISHED CONTOURS SHOWN. HOWEVER, THE FINAL MARRYING AND SHAPING OF THE EARTHWORKS AREAS ARE SUBJECT TO THE ENGINEERS APPROVAL.
- 7. TO PREVENT SEEPAGE, BASIN SUBGRADES TO BE LINED WITH IMPERMEABLE LINER (CLAY OR SIMILAR) UNLESS APPROPRIATE PERMEABILITY RATES CAN BE DEMONSTRATED BY INSITU TESTING, IN CONJUNCTION WITH THE GEOTECHNICAL ENGINEER.

WETLAND 2

Water Quality Volume (m³)	402
Permanent Water Level Volume (m³)	268
Extended Detention Volume (EDV) (m³)	541
Base of Wetland RL (m)	24.7
Permanent Water Level RL / EDV orifice IL (m)	26.2
Attenuation Storm Outlet RL (m)	26.92
Weir Spillway RL (manhole rim) (m)	27.3
Emergency Spillway RL (m)	27.35
Crest of Wetland RL (m)	27.85
EDV Orifice Diameter (mm)	90
Attenuation Storm Outlet Slot Width (mm)	350
Outlet Weir Length (manhole rim) (m)	3.77 (DN1200)
Emergency Spillway Dimensions (m)	9mL x 0.5mH
Outlet Pipe Diameter (mm)	600 @ 0.5%
Riprap dimensions	6mL x 2mW x 0.23mD, 0.2m D50 stone diameter

RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

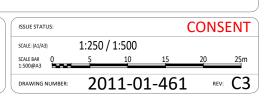
Date: 25/06/2018

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CONSULTANTS

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

WETLAND 2 PLAN AND DETAILS



Document Set ID: 1988430 Version: 1, Version Date: 26/06/2018

C3 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
C2 ISSUED FOR RESOURCE CONSENT

C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVA

LEGEND WORKING PLATFORM AT FORFBAY BASE - OUTLET MANHOLE WETLAND OUTLET PIPE WETLAND BASE 0 100 YEAR PEAK WATER LEVEL PERMANENT WATER LEVEL BASE STABILISED EMERGENCY WETLAND: SPILLWAY BASE CUT OFF COLLARS AT 10m CENTRES GROUTED ROCK WINGWALL AND RIP RAP STABILISED OUTLET REFER TO DRAWING 2011-01-464 PLAN SCALE: (A1/A3) 1:250/1:500 DN1050 OUTLET MANHOLE WITH SCRUFFY DOME - RIM LEVEL RL 28.10 REFER DETAIL ON DRAWING 2011-01-463 EMERGENCY SPILLWAN 28.15 WL100 27.90 V PWL 27.20 INVERT LEVEL 26.70 28.60 100Y PEAK WL 28.19 GROUTED ROCK WINGWALL AND POND FOREBAY BASE LINED BELOW RL 26.8 WITH RIP RAP STABILISED OUTLET REFER 200mm COMPACTED SPR TO DRAWING 2011-01-464 CUT OFF COLLARS AT 10m CENTRES UNDERCUT AND FILLING, AND - REQUIREMENT OF CLAY LINER TO BE DETERMINED BY GEOTECHNICAL ENGINEER DATUM RL 20.00 C CROSS SECTION THROUGH WETLAND 3 SCALE: (A1/A3) 1:250H 1:125V/1:500H 1:250V

NOTES

GRASS REINFORCED SPILLWAY (CIRTEX PYRAMAT OR SIMILAR APPROVED)

EXTENDED WATER LEVEL

- 1. EXISTING CONTOURS ARE SHOWN AT 0.5m INTERVALS.
- 2. DESIGN CONTOURS ARE SHOWN AT 0.5m INTERVALS.
- CONTOURS SHOWN ARE FINISHED SURFACE LEVELS.
- 4. SILT AND STORMWATER CONTROL IS TO BE IMPLEMENTED DAILY AND COMPLY WITH THE GENERAL SPECIFICATION.
- 5. THE CONTRACTOR MUST BE AWARE OF AND COMPLY WITH WAIKATO DISTRICT AND REGIONAL COUNCIL REQUIREMENTS FOR EARTHWORKS, AT ALL TIMES.
- 6. IT IS INTENDED THAT THE CONTRACTOR SHALL GRADE THE EARTHWORKS TO THE FINISHED CONTOURS SHOWN. HOWEVER, THE FINAL MARRYING AND SHAPING OF THE EARTHWORKS AREAS ARE SUBJECT TO THE ENGINEERS APPROVAL.
- 7. TO PREVENT SEEPAGE, BASIN SUBGRADES TO BE LINED WITH IMPERMEABLE LINER (CLAY OR SIMILAR) UNLESS APPROPRIATE PERMEABILITY RATES CAN BE DEMONSTRATED BY INSITU TESTING, IN CONJUNCTION WITH THE GEOTECHNICAL ENGINEER.

WETLAND 3

Water Quality Volume (m³)	154
Permanent Water Level Volume (m³)	103
Extended Detention Volume (EDV) (m³)	207
Base of Wetland RL (m)	26.1
Permanent Water Level RL / EDV orifice IL (m)	27.3
Attenuation Storm Outlet RL (m)	27.73
Weir Spillway RL (manhole rim) (m)	28.1
Emergency Spillway RL (m)	28.15
Crest of Wetland RL (m)	28.6
EDV Orifice Diameter (mm)	50
Attenuation Storm Outlet Slot Width (mm)	200
Outlet Weir Length (manhole rim) (m)	3.30 (DN1050)
Emergency Spillway Dimensions (m)	2mL x 0.45mH
Outlet Pipe Diameter (mm)	525 @ 0.5%
Riprap dimensions	2mL x 2mW x 0.17mD, 0.15m D50 stone diameter

RESOURCE CONSENT
NO:SUB0311/18 LUC0489/18
Approved by Kelly Cattermole

Date: 25/06/2018

NOT FOR CONSTRUCTION



GDS 09.2017

RJP 03.2018

GDS 04.04.18

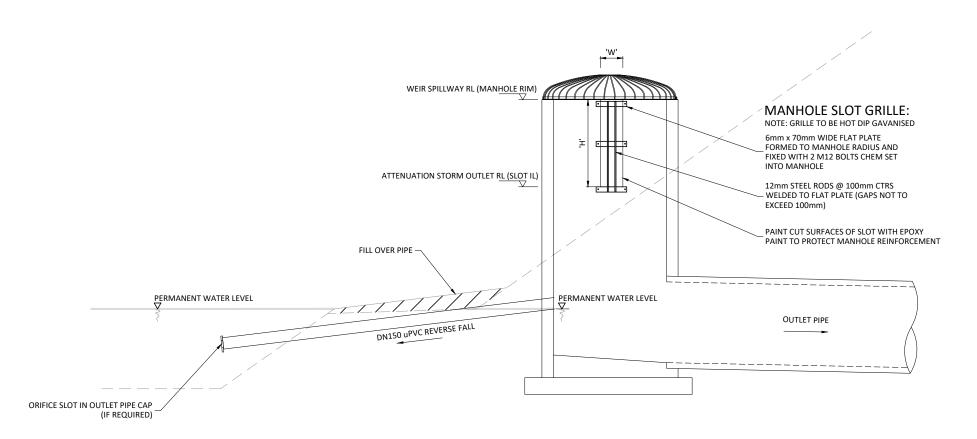
29.03.18

CIVILPLAN
CONSULTANTS
Level 3, 3 Osterley Way, Manukau, Auckland. Phone: 09 222 2445

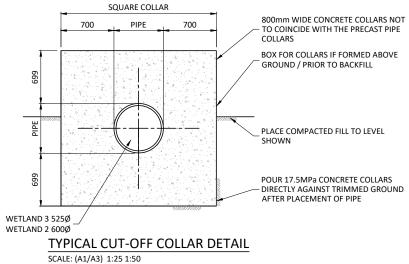
HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

WETLAND 3
PLAN AND DETAILS

C3 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
C2 ISSUED FOR RESOURCE CONSENT







OUTLET MANHOLE DETAILS

SCALE: (A1/A3) 1:25/1:50

RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION

DRAWN: DATE:

GDS 09.2017

CHECKEE: DATE:
RJP 29.03.18

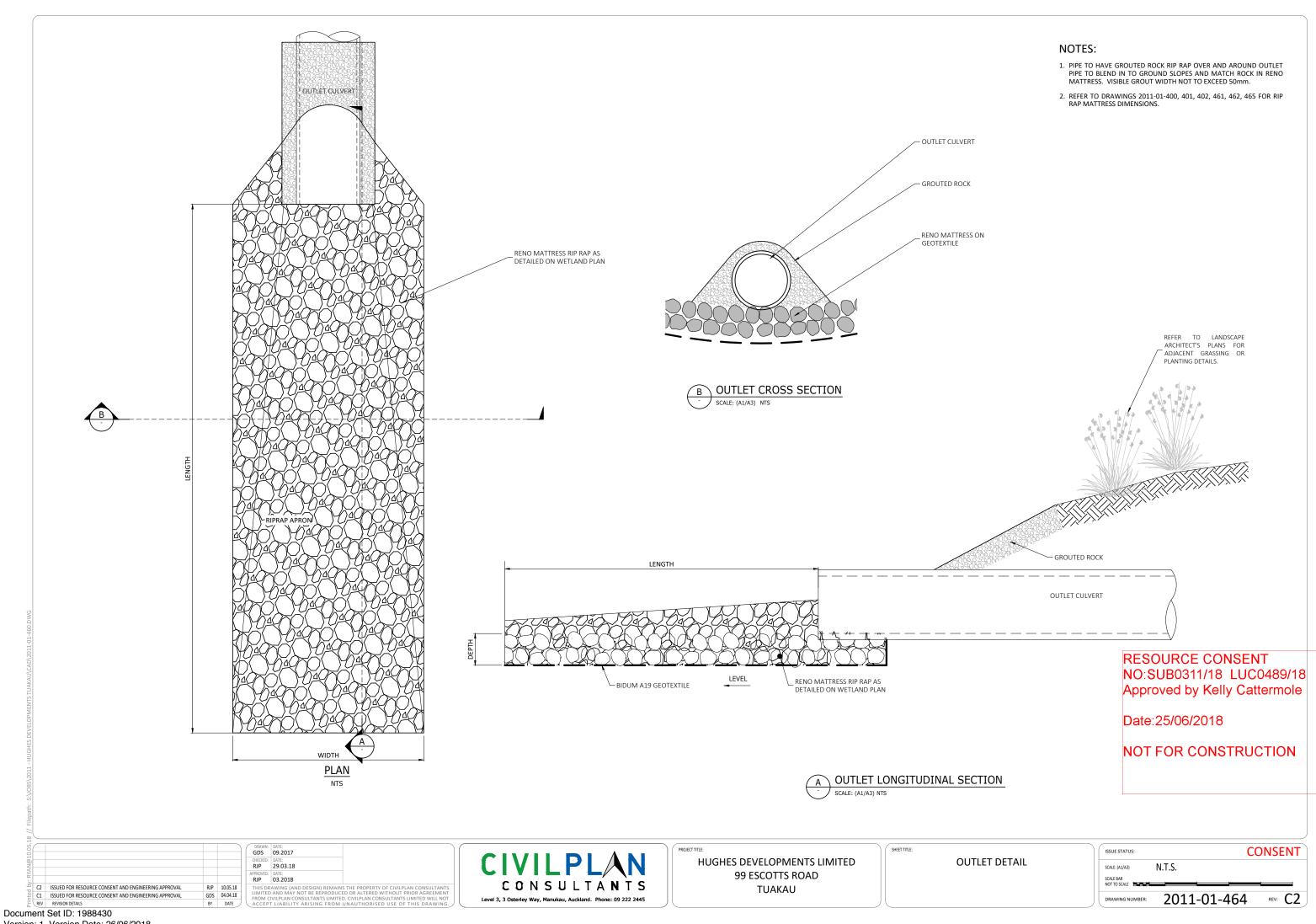
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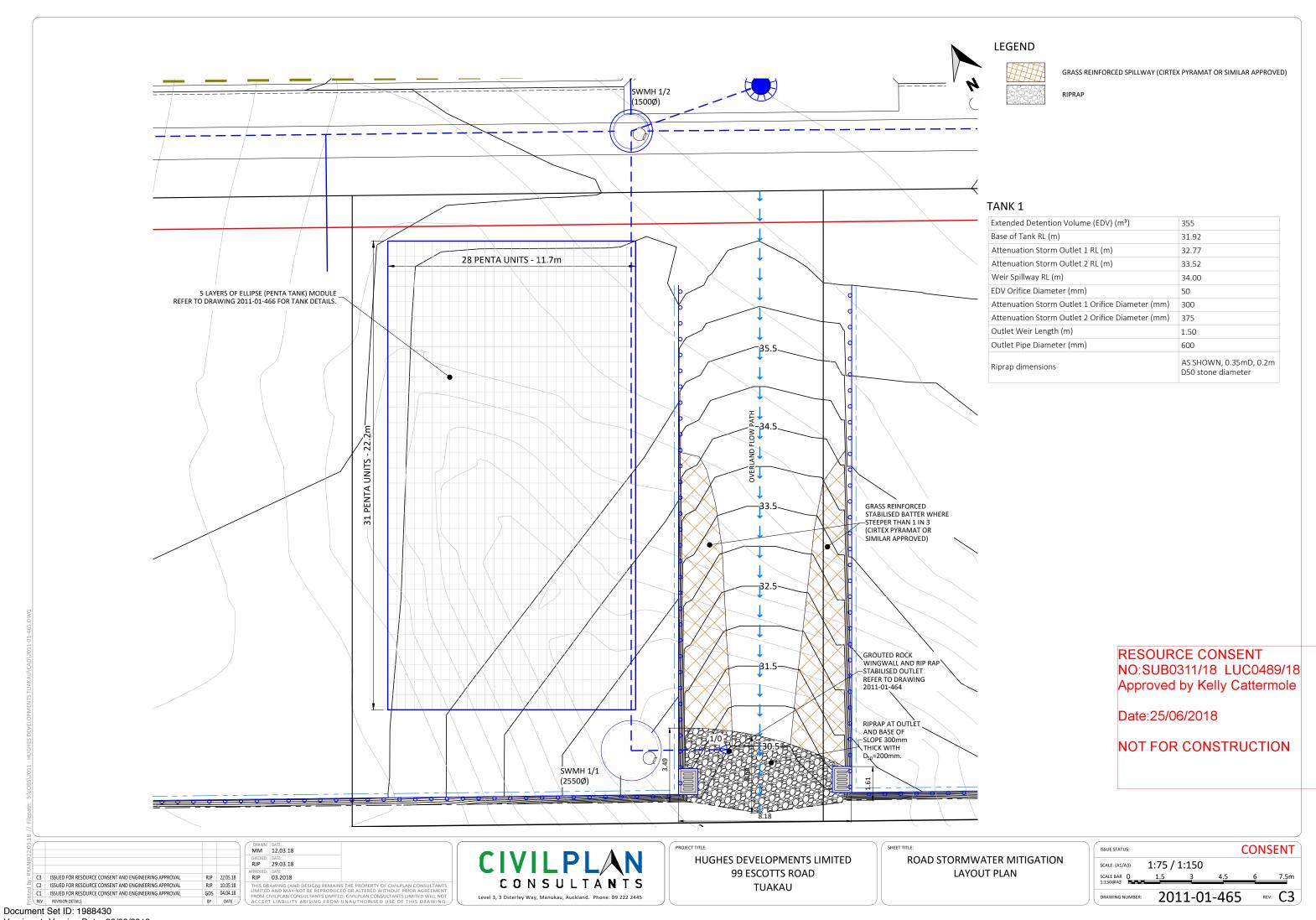
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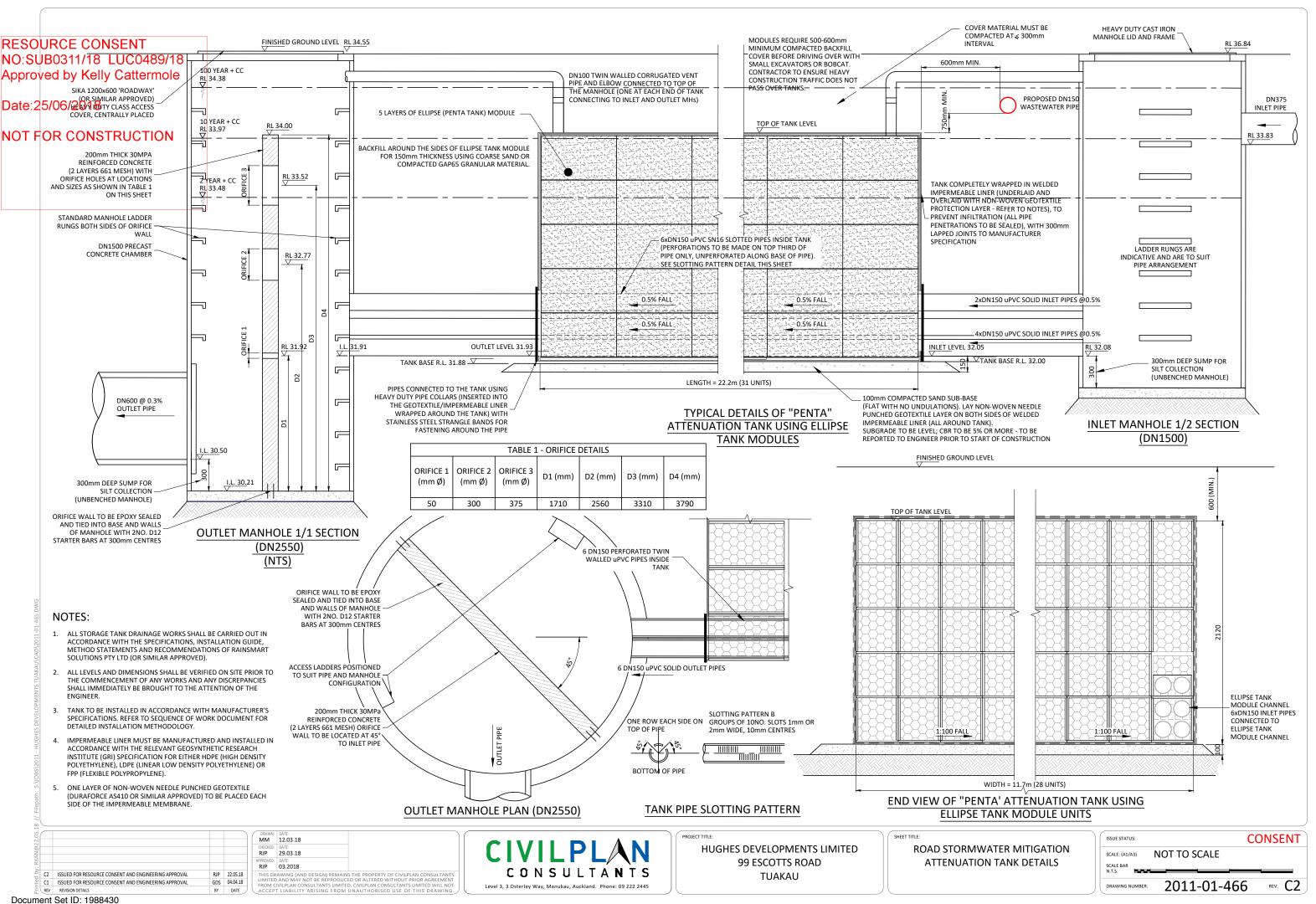
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ACCEPT LIABILITY ARISING FROM UNAUTHORISED USE OF THIS D

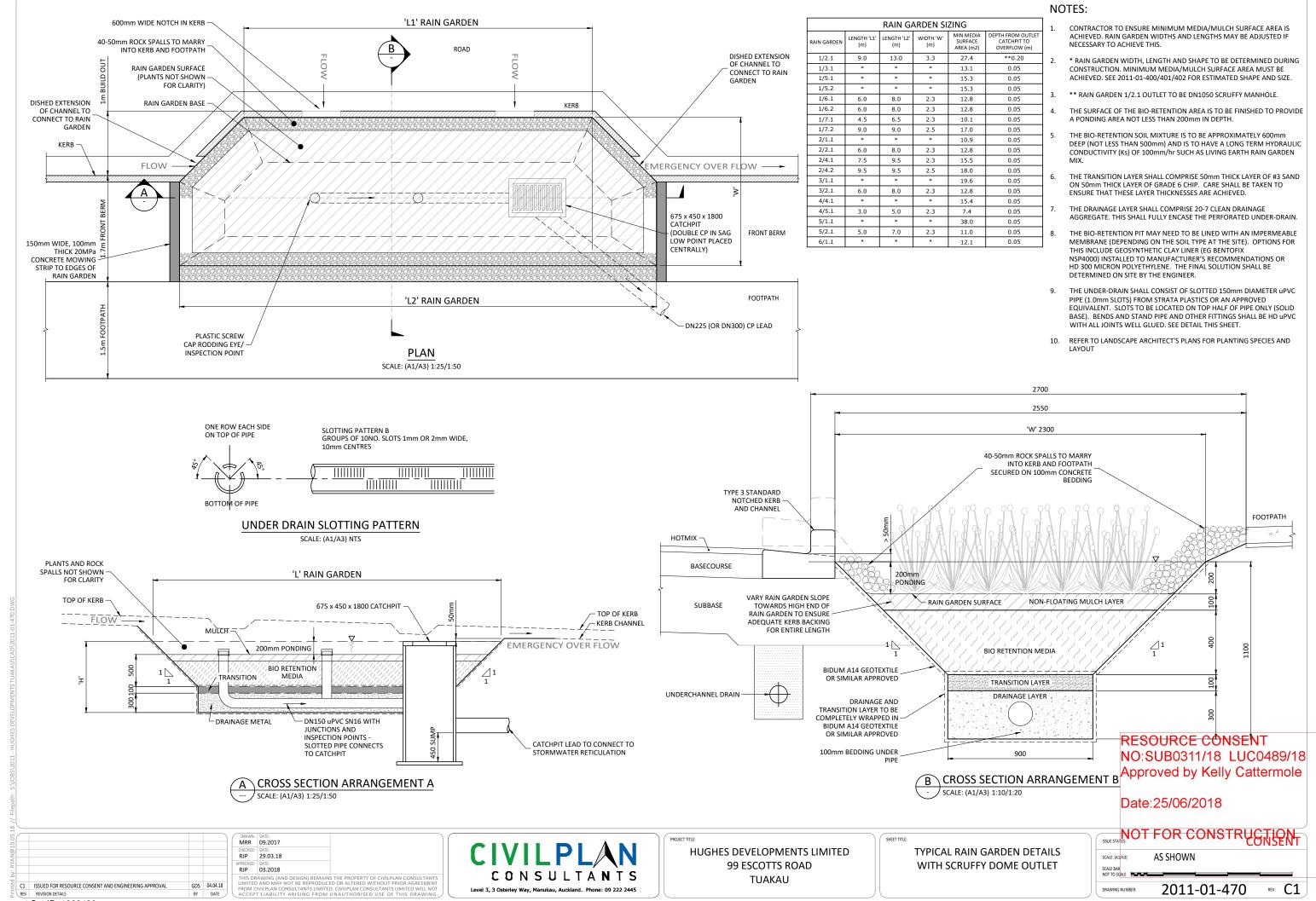
CONSULTANTS
Level 3, 3 Osterley Way, Manukau, Auckland. Phone: 09 222 2445

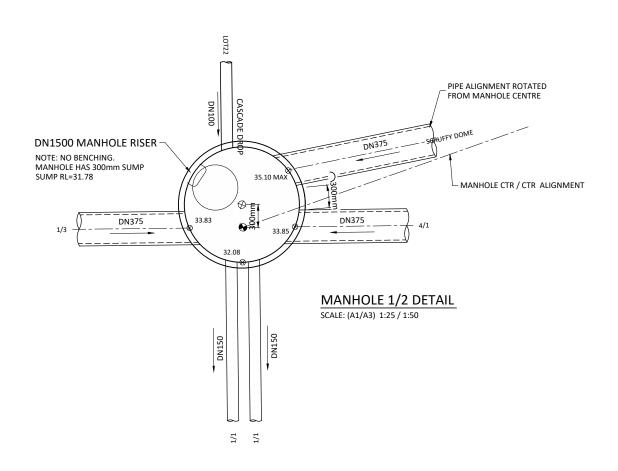
HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU WETLANDS 2 AND 3 PLAN AND DETAILS

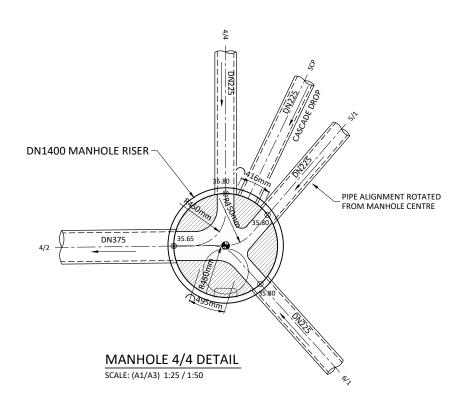












GDS 09.2017

RJP 29.03.18

RJP 03.2018



CENTRE OF MANHOLE RISER
PIPE ALIGNMENT POSITION

XX.XX
PIPE INVERT LEVEL

200mm
MANHOLE OFFSET DIMENSION

DIMENSION OF ARC BETWEEN PIPE OPENINGS (MINIMUM 300mm)

RESOURCE CONSENT
NO:SUB0311/18 LUC0489/18
Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION

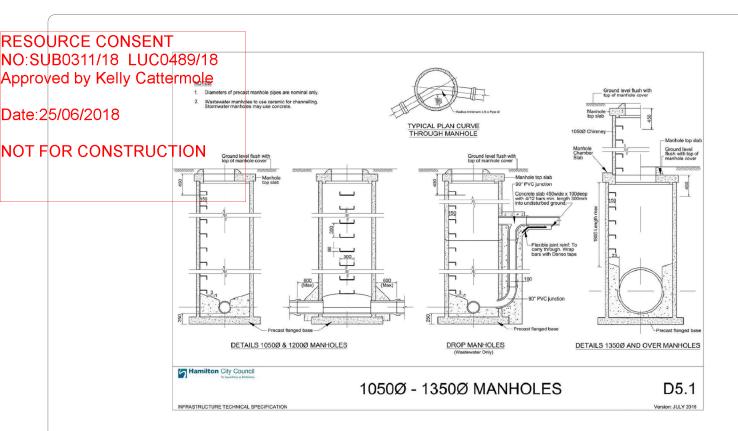


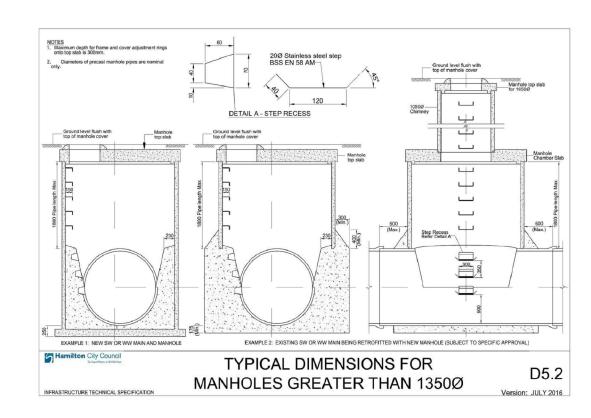
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CONSULTANTS
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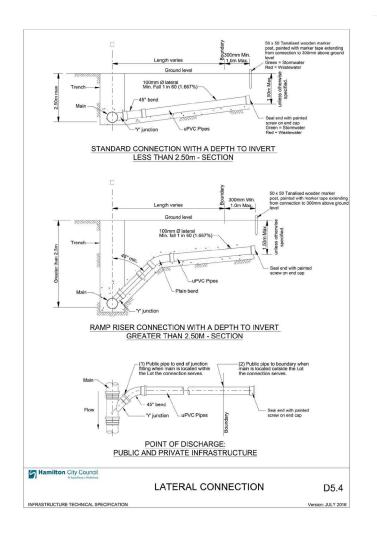
HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU

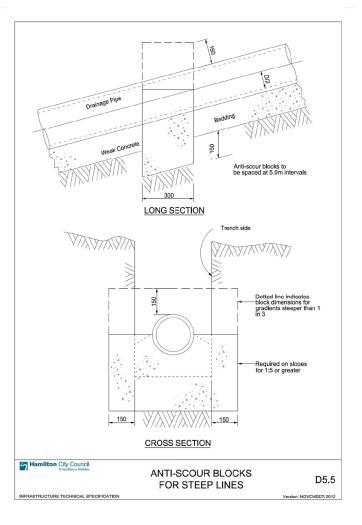
PROPOSED STORMWATER
MANHOLE DETAILS
SHEET 1

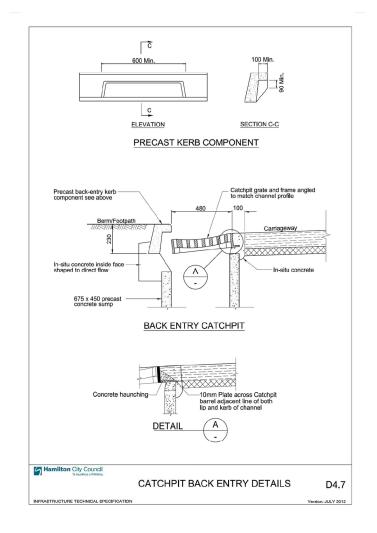
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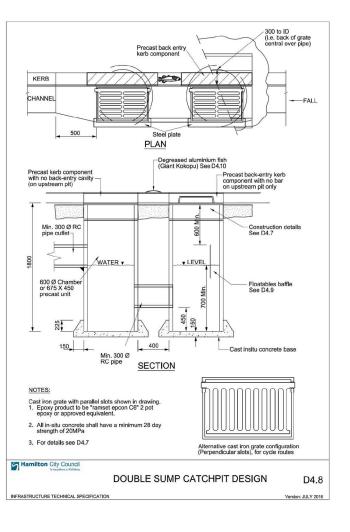








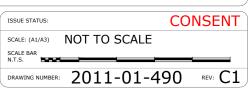


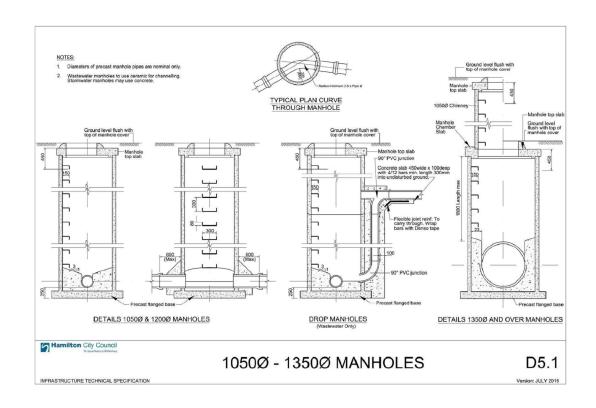


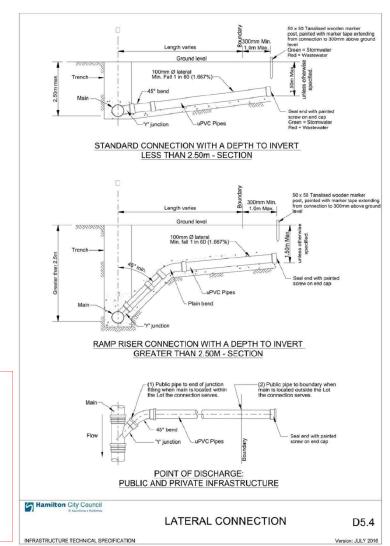




HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU STORMWATER STANDARD DETAILS SHEET 1



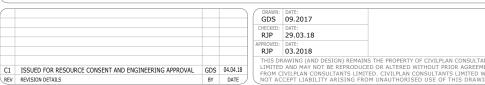




RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date:25/06/2018

NOT FOR CONSTRUCTION



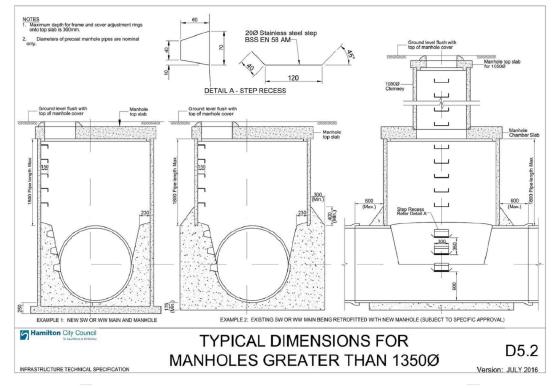
CIVILPLAN
CONSULTANTS
Level 3, 3 Osterley Way, Manukau, Auckland. Phone: 09 222 2445

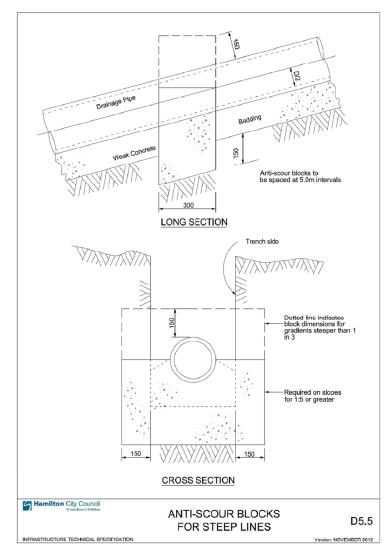
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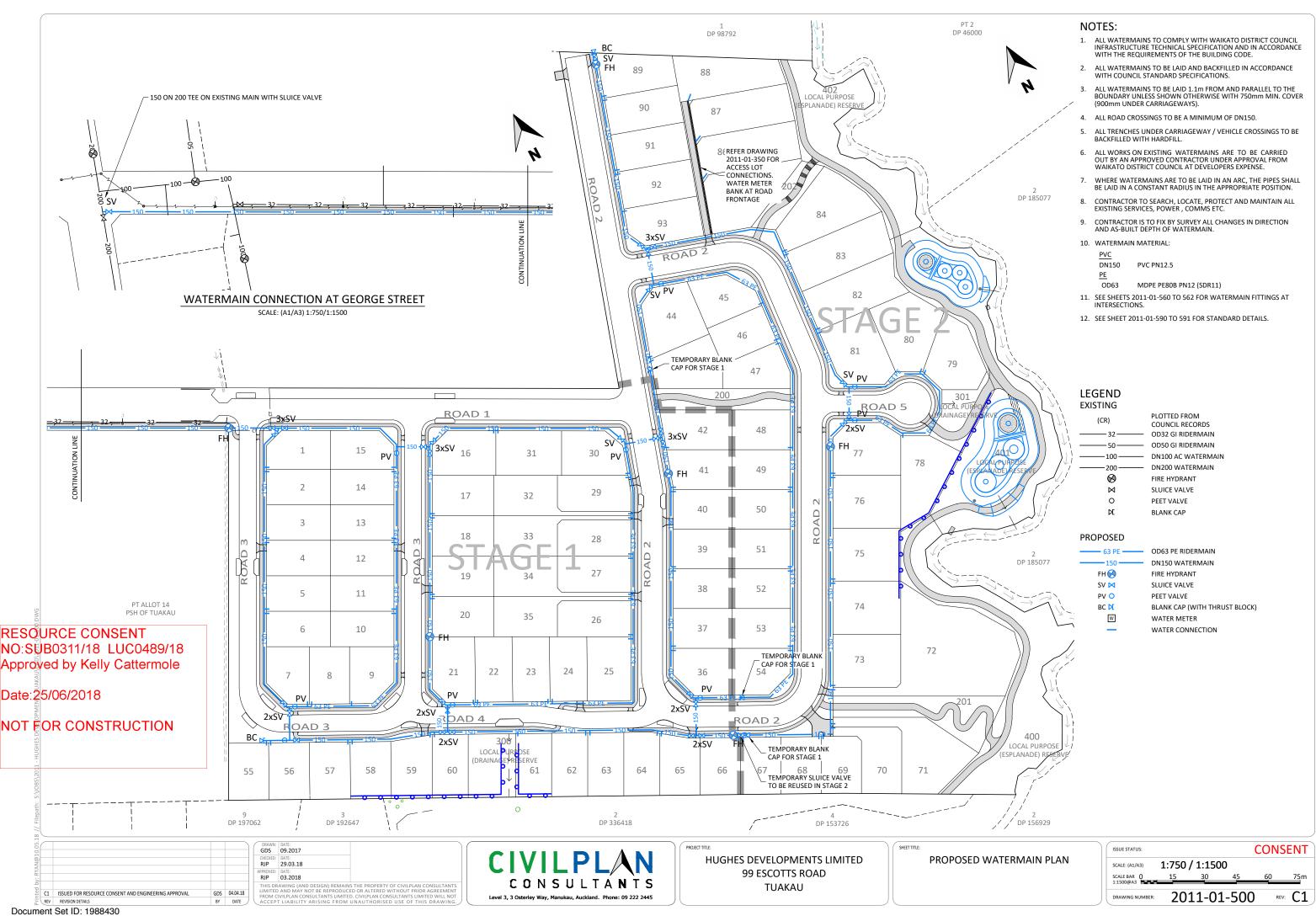
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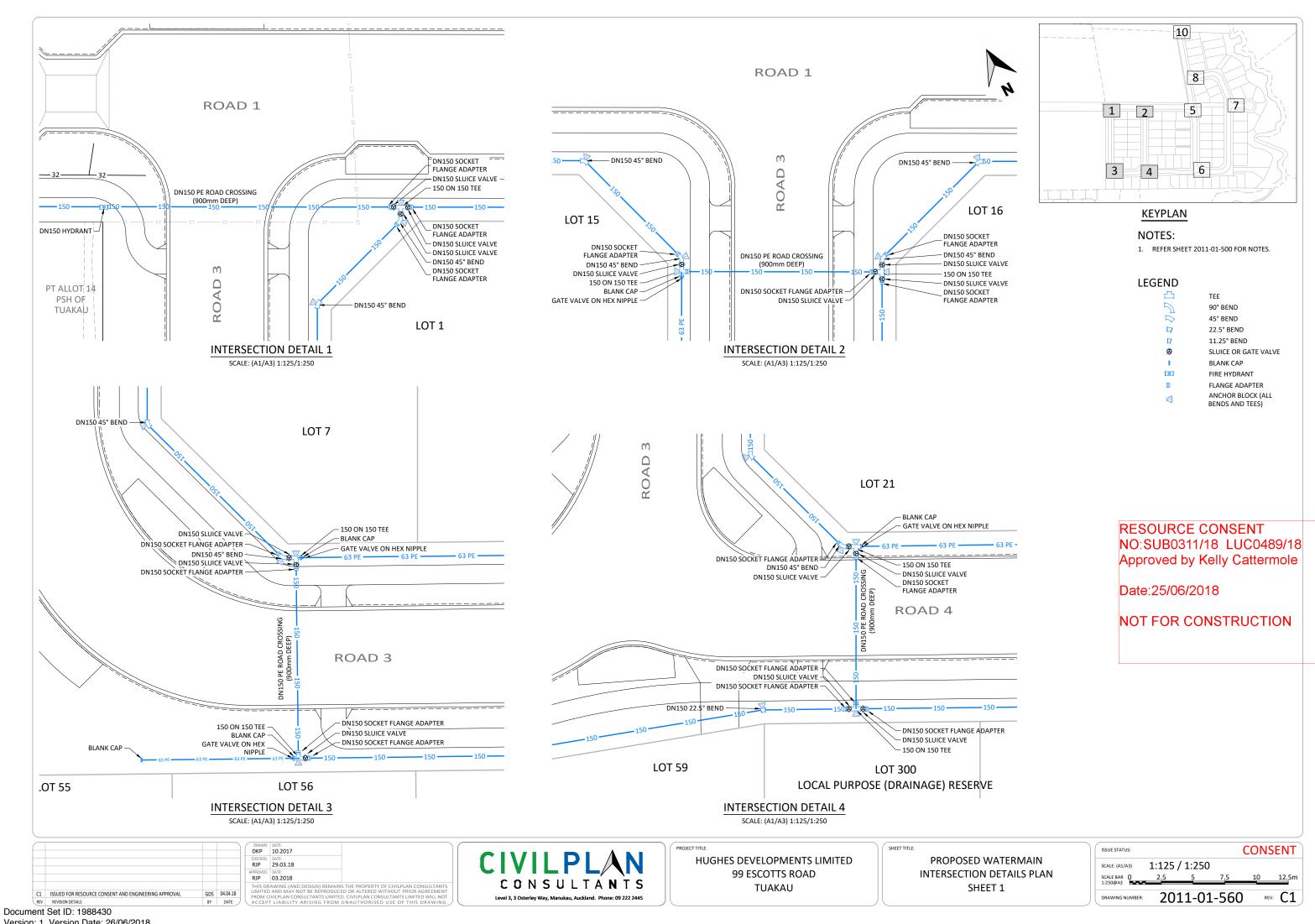
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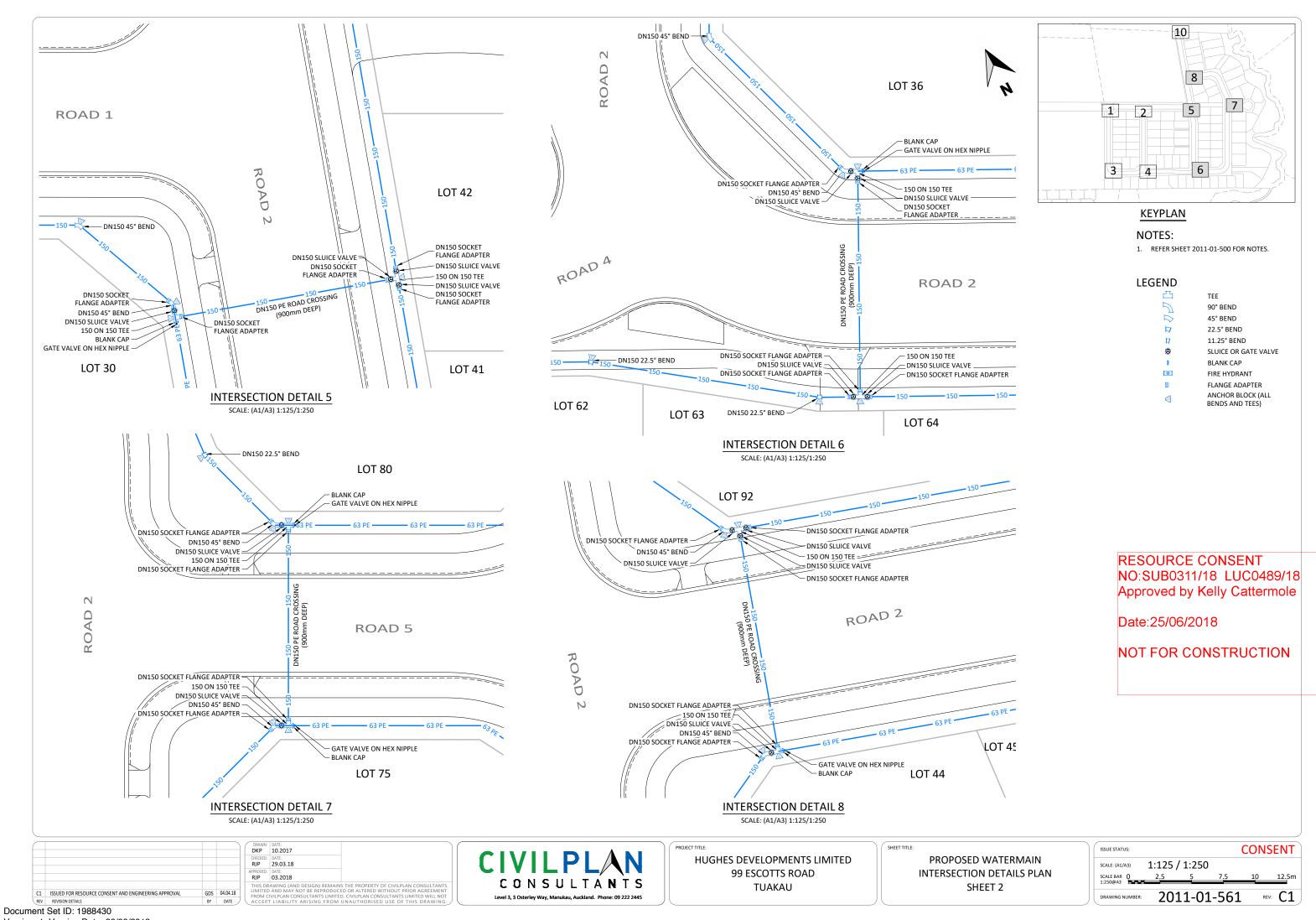
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KEYPLAN

NOTES:

1. REFER SHEET 2011-01-500 FOR NOTES.

LEGEND

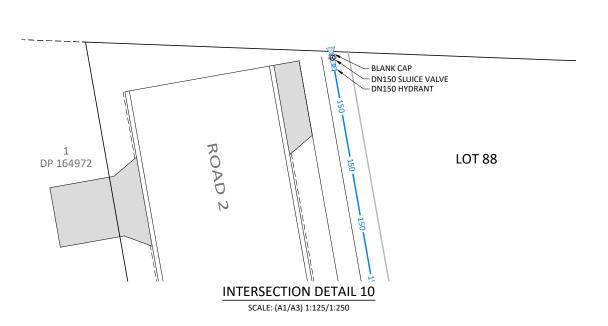


RESOURCE CONSENT NO:SUB0311/18 LUC0489/18 Approved by Kelly Cattermole

Date: 25/06/2018

NOT FOR CONSTRUCTION

DP 98792



RJP 29.03.18 RJP 03.2018

EXISTING DN200 PE WATERMAIN (CR)

SLUICE VALVE

INTERSECTION DETAIL 9

SCALE: (A1/A3) 1:125/1:250

- DN150 SLUICE VALVE - DN150 11.25° BEND _ DN150 SOCKET FLANGE ADAPTER

PT 14 PSH OF TUAKAU

ESCOTTS ROAD

DP 32393

CIVILPLAN CONSULTANTS

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD

TUAKAU

PROPOSED WATERMAIN INTERSECTION DETAILS PLAN SHEET 3

CONSENT ISSUE STATUS: SCALE: (A1/A3) 1:125 / 1:250 2011-01-562

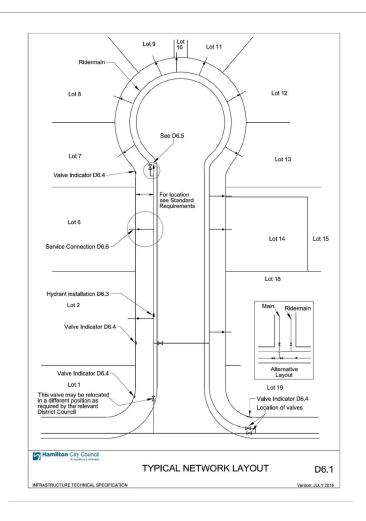
C1 ISSUED FOR RESOURCE CONSENT AND ENGINEERING APPROVAL
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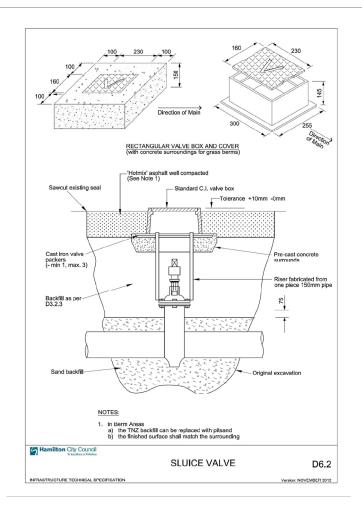
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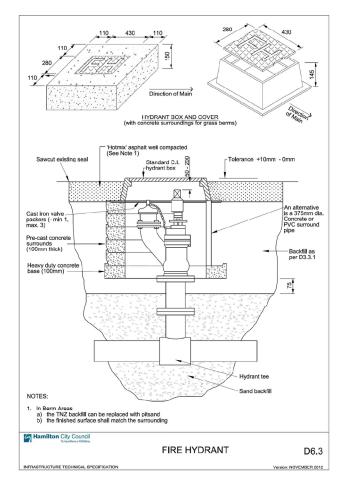
DN200 SOCKET

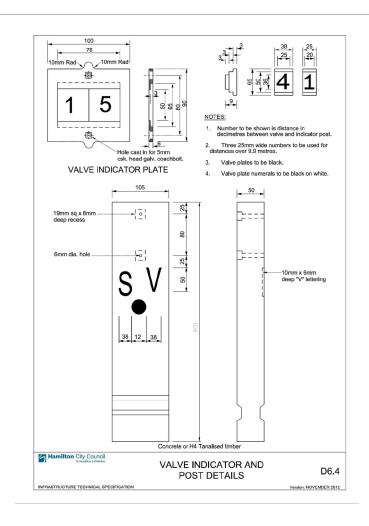
FLANGE ADAPTER

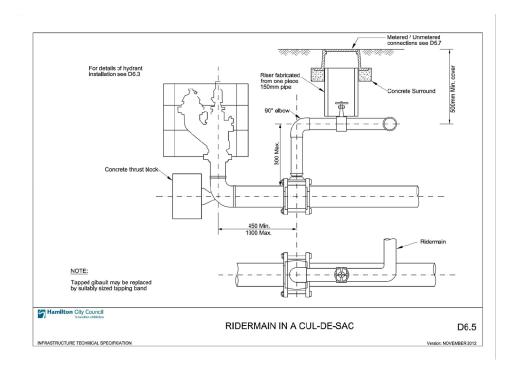
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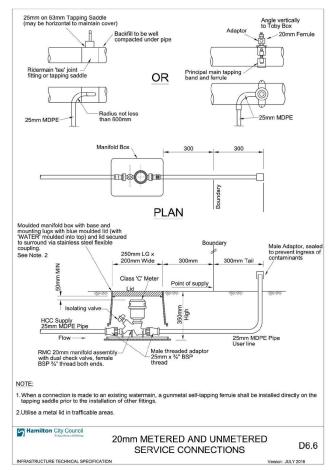


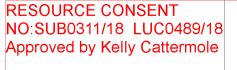






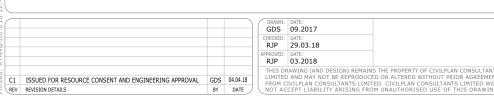






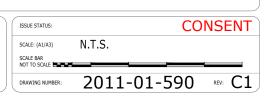
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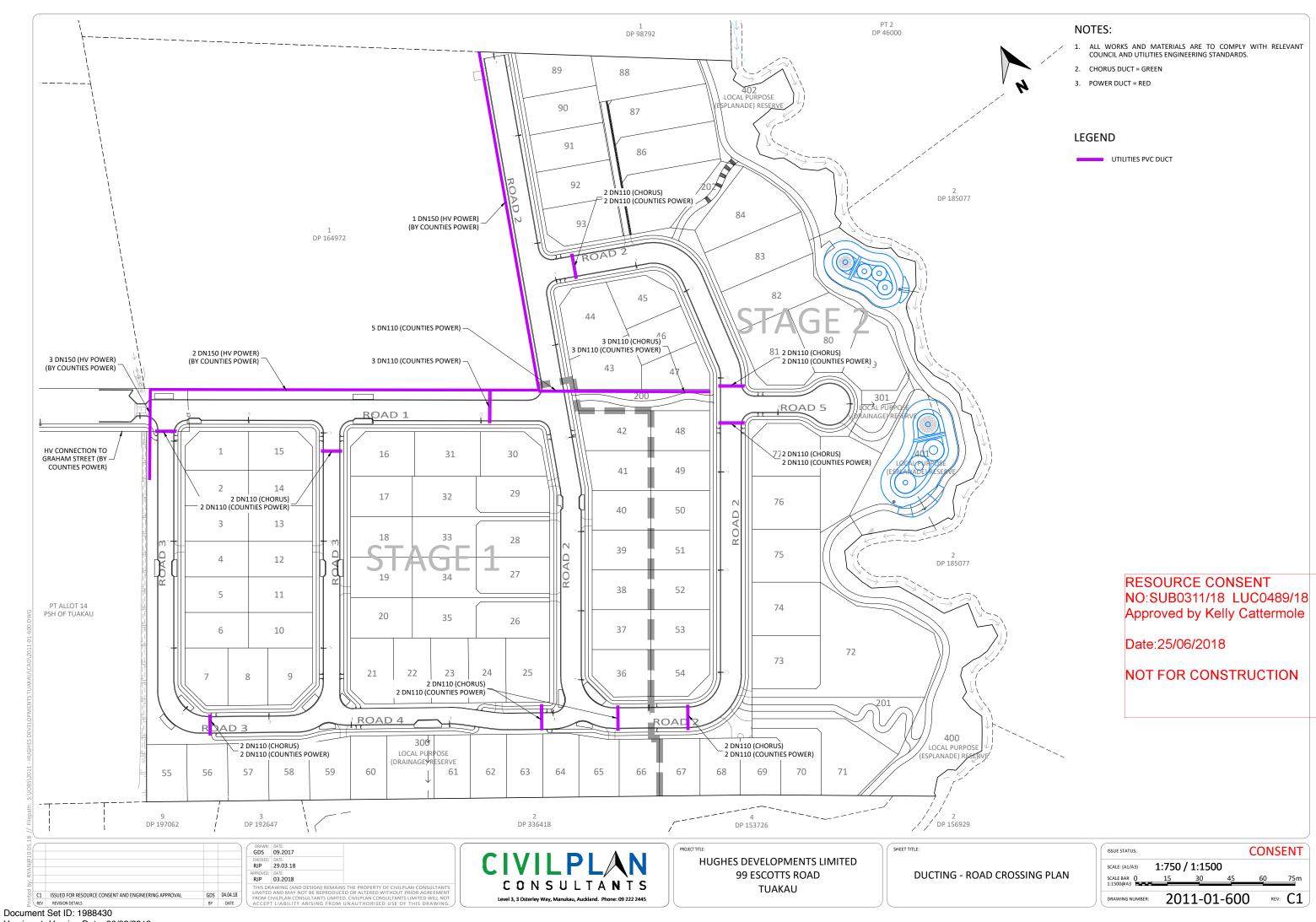
NOT FOR CONSTRUCTION



CONSULTANTS
Level 3, 3 Osterley Way, Manukau, Auckland. Phone: 09 222 2445

HUGHES DEVELOPMENTS LIMITED 99 ESCOTTS ROAD TUAKAU WATERMAIN STANDARD DETAILS SHEET 1







DEVELOPMENT CONTRIBUTIONS NOTICE

Parent Application No: SUB0019/15.01 – Stage 1 & SUB0311/18 (Replacement SUB)

DC Application No: DC0332/18.01 - Stage 1 creates Lots 1-42 & Lots 55-66 (54 Lots),

plus Lots 100 & 101 to vest as road and Lot 300 to vest as LPR Drainage. I credit applies for DW Community Facilities, DW Roading & Water for the existing CT. There are no credits for Stormwater or Wastewater as these services were not previously available to this property. The original Subdivision was assessed

under the 2012 DC Policy

Applicant: Hughes Developments Limited

PO Box 848

Christchurch 8140

Property: 99 Escotts Road TUAKAU

Date of Assessment: 26 June 2018

Development contributions are required to be paid for this development. The development contributions (GST inclusive) set out below were calculated under Waikato District Council's 2012 Development Contribution Policy. This is the policy in place at the time the consent application was lodged.

The total development contributions assessed for this consent is \$1,230,566.00.

The table below indicates when the development contributions are due to be paid and what action Council will take if they are not paid.

Application type	Development contributions are due	Council action if development contributions not paid as set out in section 208 of the Local Government Act 2002
Subdivision consent	Prior to the issue of the section 224(c)	Withhold certificate under section 224(c) of the Resource Management Act 1991
Landuse consent	Prior to the commencement of consent as defined by section 116 of the Resource Management Act 1991	Prevent the commencement of consent under the Resource Management Act 1991
Building consent	Prior to receiving a Code Compliance Certificate	Withhold Code Compliance Certificate under section 95 of the Building Act 2004
Service connection	Prior to service connection	Withhold service connection to the development

Certificate of	Prior to r	receiving a	a	Certificate	of	Withhold a Certificate of Acceptance
Acceptance				work	for building work under section 99AA	
						of the Building Act 2004

Development Contribution Calculations

Activity	Catchment	Contribution Assessed
Reserves	Not Applicable	\$0.00
Facilities	All Other Areas	\$162,233.00
Roading	All Other Areas	\$28,355.00
Roads & Transport	Not Applicable	\$0.00
Stormwater	Tuakau	\$108,162.00
Wastewater	Tuakau	\$622,296.00
Water	Tuakau	\$309,520.00
Total Development Co	\$1,230,566.00	

Other Contributions Required:

Contribution Assessed
\$ 0.00

Development contributions are required to be paid (GST inclusive) for this development in accordance with Waikato District Council's Development Contributions Policy and the Local Government Act 2002.

The development contributions payable are based on the Development Contributions Policy prevailing at the time the consent application was lodged with Council.

The fees and charges required to be paid will be adjusted annually on the I July until they are paid. Annual adjustments are made using the Producers Price Index Outputs for Construction provided by Statistics New Zealand in accordance with the Local Government Act 2002.

To avoid potential annual increases, payment can be made earlier than the due date.

Reconsiderations:

A request for a reconsideration of the development contributions assessed can be made to Council. A reconsideration request will only be considered if there are grounds to believe that:

- The development contribution levies were incorrectly calculated/assessed in accordance with the development contributions policy, or
- The Council has incorrectly applied its development contributions policy, or
- The information used to assess the application, or the way in which the Council has recorded or used it when requiring a development contribution, is incomplete or contained errors.

A reconsideration will only be undertaken on request.

A reconsideration request must be made within 10 days of receiving this notice.

Requests must provide the reference number of the relevant consent, be short and concise, but fully outline the reasons why reconsideration is being sought and provide sufficiently reliable data to enable a revised estimate of demand and associated development contribution charges to be made.

Requests can be lodged with the Council in the following ways:

- By email at: <u>DCReviewCommittee@waidc.govt.nz</u>
 With the subject line "request for reconsideration" and the reference number of the relevant consent.
- By writing to Council at the following address:
 Attention: DC Review Committee
 Waikato District Council
 Private Bag 544
 Ngaruawahia 3742

Council's Development Contributions Policy contains information on remissions, reconsiderations, objections, refunds, postponement of payments and other relevant information. To view this policy visit

https://www.waikatodistrict.govt.nz/your-council/fees-and-charges/development-contributions

A link to the Local Government Act 2002 and its various amendments can be found below

http://www.legislation.govt.nz/act/public/2002/0084/latest/DLM170873.html



DEVELOPMENT CONTRIBUTIONS NOTICE

Parent Application No:

SUB0019/15.01 - Stage 2 & SUB0311/18 (Replacement SUB)

DC Application No:

DC0332/18.02 - Stage 2 creates Lots 43-54 and 67-93 (39 Lots) plus Lot 102 to vest as Road, 200-202 to vest as LPR Access way, 301 LPR Drainage, Lots 400-402 LPR Esplanade and Lot 500

JOAL

Applicant:

Hughes Developments Limited

PO Box 848

Christchurch 8140

Property:

99 Escotts Road TUAKAU

Date of Assessment:

26 June 2018

Development contributions are required to be paid for this development. The development contributions (GST inclusive) set out below were calculated under Waikato District Council's 2012 Development Contribution Policy. This is the policy in place at the time the consent application was lodged.

The total development contributions assessed for this consent is \$788,115.00.

The table below indicates when the development contributions are due to be paid and what action Council will take if they are not paid.

Application type	Development contributions are due	Council action if development contributions not paid as set out in section 208 of the Local Government Act 2002
Subdivision consent	Prior to the issue of the section 224(c)	Withhold certificate under section 224(c) of the Resource Management Act 1991
Landuse consent	Prior to the commencement of consent as defined by section 116 of the Resource Management Act 1991	Prevent the commencement of consent under the Resource Management Act 1991
Building consent	Prior to receiving a Code Compliance Certificate	Withhold Code Compliance Certificate under section 95 of the Building Act 2004
Service connection	Prior to service connection	Withhold service connection to the development
Certificate of Acceptance	Prior to receiving a Certificate of Acceptance for building work	Withhold a Certificate of Acceptance for building work under section 99AA of the Building Act 2004

Development Contribution Calculations

Activity	Catchment	Contribution Assessed
Reserves	Not Applicable	\$0.00
Facilities	All Other Areas	\$11,937.00
Roading All Other Areas		\$20,865.00
Roads & Transport	Not Applicable	\$0.00
Stormwater	Tuakau	\$78,117.00
Wastewater	Tuakau	\$449,436.00
Water	Tuakau	\$227,760.00
Total Development Co	\$788,115.00	

Other Contributions Required:

Activity	Catchment	Contribution Assessed
Total Other Contributions	\$ 0.00	

Development contributions are required to be paid (GST inclusive) for this development in accordance with Waikato District Council's Development Contributions Policy and the Local Government Act 2002.

The development contributions payable are based on the Development Contributions Policy prevailing at the time the consent application was lodged with Council.

The fees and charges required to be paid will be adjusted annually on the 1 July until they are paid. Annual adjustments are made using the Producers Price Index Outputs for Construction provided by Statistics New Zealand in accordance with the Local Government Act 2002.

To avoid potential annual increases, payment can be made earlier than the due date.

Reconsiderations;

A request for a reconsideration of the development contributions assessed can be made to Council. A reconsideration request will only be considered if there are grounds to believe that:

- The development contribution levies were incorrectly calculated/assessed in accordance with the development contributions policy, or
- The Council has incorrectly applied its development contributions policy, or
- The information used to assess the application, or the way in which the Council has recorded or used it when requiring a development contribution, is incomplete or contained errors.

A reconsideration will only be undertaken on request.

A reconsideration request must be made within 10 days of receiving this notice.

Requests must provide the reference number of the relevant consent, be short and concise, but fully outline the reasons why reconsideration is being sought and provide sufficiently reliable data to enable a revised estimate of demand and associated development contribution charges to be made.

Requests can be lodged with the Council in the following ways:

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 With the subject line "request for reconsideration" and the reference number of the relevant consent.
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https://www.waikatodistrict.govt.nz/your-council/fees-and-charges/development-contributions

A link to the Local Government Act 2002 and its various amendments can be found below

http://www.legislation.govt.nz/act/public/2002/0084/latest/DLM170873.html